

University of South Carolina
UofSC Advising Center
3rd Floor, Close-Hipp Building
1705 College St, Columbia, South Carolina
State Project Number: H27-Z411

February 28, 2020

ADDENDUM NO. 1

This addendum forms a part of the Contract documents and modifies the original Bidding Documents and any previous Addenda as noted below. Acknowledge receipt of this Addendum in the space provided in the Bid Form. Failure to do so may subject Bidder to disqualification.

MODIFICATIONS TO PREVIOUS ADDENDA:

N/A

PRE-BID CONFERENCE – February 27, 2020 at 10:00 AM at UofSC Facilities Office, 1300 Pickens St, Columbia, South Carolina:

See attached Pre-Bid Conference Meeting Minutes and sign-in sheet.

MODIFICATIONS TO PROJECT MANUAL:

1. Reference Section 012300 – Alternates: **DELETE** Section 012300, dated 01/31/2020. **ADD** Section 012300, dated 01/31/2020, Revised 02/28/2020.
2. Reference SE-330: **DELETE** SE-330. **ADD** SE-330, Revised 02/28/2020.

MODIFICATIONS TO DRAWINGS:

ARCHITECTURAL DRAWINGS:

1. Reference Sheet A201: **DELETE** Sheet A201, dated 01/31/2020. **ADD** Sheet A201, dated 01/31/2020, Revised 02/28/2020.
2. Reference Sheet A601: **DELETE** Sheet A601, dated 01/31/2020. **ADD** Sheet A601, dated 01/31/2020, Revised 02/28/2020.
3. Reference Sheet A701: **DELETE** Sheet A701, dated 01/31/2020. **ADD** Sheet A701, dated 01/31/2020, Revised 02/28/2020.
4. Reference Sheet A702: **DELETE** Sheet A702, dated 01/31/2020. **ADD** Sheet A702, dated 01/31/2020, Revised 02/28/2020.

ELECTRICAL DRAWINGS:

1. Reference Sheet E-002: **DELETE** Sheet E-002, dated 01/31/2020. **ADD** Sheet E-002, dated 01/31/2020, Revised 02/28/2020

MECHANICAL DRAWINGS:

None

PLUMBING DRAWINGS:

None

REQUESTED PRODUCT APPROVALS:

None

QUESTIONS FROM CONTRACTORS:

1. Question: In the drawing package, there are plans A1 and A2 and E1 and E2 dated 12/18/19. Do we include this work?
a. Answer: YES.
2. Question: Are we removing any furniture, if so, how much?
a. Answer: Per note 16 on sheet AD01, contractor is to salvage all existing furniture for owner's use. There are existing bookshelves in each perimeter office that will need to be removed and salvaged for owner's reuse.

3. Question: When are questions due?
 - a. **Answer: All questions and requests for substitutions are due to the A/E contact by Friday, March 6, 2020 at 5:00 PM EST.**
4. Question: Can we do a GPR scan instead of doing an X-Ray?
 - a. **Answer: Yes, a GPR scan of the floor slab may be performed in lieu of an X-Ray prior to any core drilling or cutting of the floor slab to ensure that no existing utilities or structural elements in the slab will be compromised by the work.**
5. Question: The existing walls (Advisor offices, etc..) have tested positive for asbestos. What is the allowable prep that can be done on the walls that remain? If pull ups are done on wall in preparation for paint, sanding joint compound will need to be done. What are our limitations? How should we approach this issue? Please advise
 - a. **Answer: Contractors cannot sand existing sheetrock walls or penetrate them in any way. Contractors can apply new spackling or joint compound and smooth out by using a trowel or similar tool. Any activities requiring disturbance of asbestos-containing materials will be coordinated with the university's hazardous material personnel and costs related to these activities will be handled by the university.**

Initial abatement activities by the university will include removal of sheetrock from wall studs on the divider walls between rooms 301 and 301A and the divider walls between the four perimeter offices being demolished. The university will also have the sheetrock removed from the wall studs on the north wall of the four perimeter offices being demolished.

Once the fire hose cabinet is removed upon completion of the sprinkler work, the university will also have the sheetrock removed from the wall studs on both sides of the south wall of room 301A.

Once classes are complete in May, the university will have the sheetrock removed from the wall studs on both sides of the south wall of room 302 and will remove sheetrock as needed for new doorways into room 302.
6. Question: Fastening new framing members for new partition walls will require penetrating some existing walls, ceiling, and floors. Will abatement team remove the areas needed for proper fastening? Please advise.
 - a. **Answer: See above answer to Question 5.**
7. Question: Who is the manufacturer of the fire alarm system?
 - a. **Answer: Per sheet E-002, the existing Fire Alarm System is a Gamewell E3 panel.**

END OF ADDENDUM NO. 1

Meeting Report

Project: University of South Carolina, Advising Center
 USC Advising Department Renovation in Close-Hipp - State Project Number: H27-Z411

Owner: University of South Carolina

Date: 02/27/2020

Attendees: See attached Sign-in Sheets

MARK	DISCUSSION / ACTION
02/27/2020	<p>Kristen Moss, USC Procurement opened the meeting and welcomed the group to the Pre-Bid Conference. She introduced Ann Derrick, USC Project Manager, and Taylor Beaudrot, Studio 2LR.</p> <p>Kristen Moss, Procurement Manager, USC Department of Facilities, continued the meeting.</p> <ol style="list-style-type: none"> 1. She indicated to the group that this is a Pre-Bid Conference for State Project Number H27-Z411, USC Advising Department Renovation in Close-Hipp. 2. She indicated that all the materials were on the web site at USC Procurement. 3. Ms. Moss briefly described the scope of the project, to include approximately 10,000 sf of interior renovation of the 3rd floor Close side of the Close-Hipp building for offices, training, reception, break room, and conference spaces. 4. A Bid Bond of not less than 5% of the base bid is required and should be on AIA form A310. 5. 100% Payment and Performance Bond is required for the successful bidder. 6. All questions should be in writing and should be directed to the A/E contact. 7. Ms. Moss indicated that the Pre-Bid Conference was not mandatory, and that contractors outside of those in attendance may submit bids. 8. Ms. Moss referred to Taylor Beaudrot for the bid schedule. 9. Ms. Beaudrot indicated that the last day for questions and substitution requests will be Friday, March 6, 2020 by 5:00 PM EST. The last addendum will be issued Tuesday, March 10, 2020 and available on the procurement website by 2:00 PM EST. 10. Bids are due on Tuesday, March 17, 2020 by 2:00 PM EST at the USC Facilities Building at 1300 Pickens Street, Columbia, SC. 11. SE 330 Bid Form, Ms. Moss indicated that there is a place to acknowledge the addendums issued, and to price each alternate separately. 12. Work is to be completed in 110 calendar days. Liquidated Damages are \$150 per calendar day. A bid must be signed and dated to be valid. 13. Ms. Moss also noted that contractor must meet the insurance requirements for the project which are found in the AIA A201 document. 14. Ms. Moss stated that the lowest responsive, responsible bidder will be selected. Late bids, qualified bids, and bids without sufficient bid security will be rejected.

<p>02/27/20.2</p>	<p>Ann Derrick, Project Manager, USC Department of Facilities, gave a brief overview of the work, generally describing the project scope.</p> <ol style="list-style-type: none"> 1. Ms Derrick stated that two additional projects in the Close-Hipp building are currently in the bidding process. One is the interior renovation of portions of the 1st and 2nd floor for USC’s Disability Services Department. The other is the Sprinkler Installation in the Close side of the 3rd and 5th floors. Prebids have already occurred for these projects, but the areas of work are open for site visits daily between 7:00 AM and 7:00 PM. 2. Ms. Derrick indicated that the Sprinkler Installation project includes sprinkler work and ceiling work, which will overlap with this project and require coordination. She emphasized that all ACT grids and ceilings in the Advising suite have already been demolished and will be replaced under the Sprinkler Installation project. The drywall ceiling at the reception area does not fall under the Sprinkler Installation project and is part of the Advising project scope. 3. Ms Derrick noted that SE-310 indicates a construction cost range and asked that bidders contact the A/E contact prior to submitting their bids if their bids exceed this range. 4. Ms. Derrick described alternate 1 as the removal and replacement of perimeter office doors. She described alternate 2 as providing and installing a decorative wall system at the reception area. 5. Ms. Derrick indicated that a third alternate will be added in addendum 1 involving substitution of two carpet selections. She noted that it is currently unknown whether this alternate will be an addition or deduction, and asked bidders to please be sure to indicate whether alternate 3 is an add or a deduct in their bids. 6. Ms. Derrick stated that the sheetrock joint compound and the textured wall coating on the corridor wall outside the tenant suite and wrapping the columns inside the tenant suite have tested positive for asbestos. All abatement will be provided by USC’s abatement contractor under a separate contract and separate scope of work. The abatement contractor will remove all cove base and all sheetrock indicated in the contract documents to be removed. The abatement contractor will not demolish the remaining studs at these locations where sheetrock is being abated. At the corridor wall where a large opening is being cut, the abatement contractor will remove the wall coating that has tested positive for asbestos. The GC will be responsible for cutting the opening in the concrete wall. 7. Ms. Derrick emphasized the importance of reading Section 011000 – Summary very carefully since several projects are running concurrently in the building and may require coordination and cooperation. 8. Ms. Derrick indicated that the contract will be awarded as soon as legally allowed after bid. Onsite work cannot commence prior to May 6, 2020, but the selected contractor may begin issuing submittals and purchasing materials during the month of April to minimize any delays due to lead times. 9. Ms. Derrick indicated that summer classes will not be taking place on the 3rd floor of the Close-Hipp building during construction. However, the building will continue to function normally on other floors. Work that requires excessive noise or excessive smell affecting other areas of the building must be done in specific time frames as agreed to in writing by Owner. 10. There are 6 elevators in the Close-Hipp building. Once work commences, 3 of these elevators will be reserved as freight elevators
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	<p>for Contractor use. The other 3 will remain open to students and faculty for normal day-to-day use.</p> <p>11. Contractor parking will be provided at bagged meter spaces along College St. Dumpsters will also be arranged either in parking spaces or on Barnwell St.</p>
02/27/20.3	<p>Taylor Beaudrot, Studio 2LR, opened the floor for general questions regarding scope of work,</p> <ol style="list-style-type: none"> 1. A bidder asked what company manufactures the smoke alarm system. This question will be answered in Addendum 1. 2. A bidder asked if demolition of the space had begun. Ms. Derrick clarified that the existing ACT ceilings and grid have been demolished as part of the Sprinkler Installation project, but that asbestos abatement has not begun as of 02/27/2020. 3. Ms. Beaudrot requested that all specific questions and requests for substitutions be sent in writing via email to ensure all information is distributed to all bidders. She requested these questions and requests for substitutions be submitted no later than Friday, March 6, 2020 by 5:00 PM EST. 4. Ms. Beaudrot referenced SE-310, listing her email address, tbeaudrot@gmail.com as the A/E contact. 5. The last addendum will be issued Tuesday, March 10, 2020 and available on the procurement website by 2:00 PM EST.
02/27/20.4	<p>At the conclusion of the meeting, Ms. Derrick, Ms. Beaudrot, and contractors proceeded to the third floor of the Close-Hipp building to review the existing conditions at the project site. All attendees that wanted to review the existing conditions were allowed into the building to view the upfit space.</p> <p>Ann Derrick and Kristen Moss, USC indicated that the building will be open for additional site visits between 7:00 AM and 7:00 PM daily.</p>

If there are any clarifications or corrections to the above meeting minutes, please advise Studio 2LR within 3 days of the date of this report in writing.

**University of South Carolina
Pre Bid Sign In Sheet
Columbia, South Carolina**

Project Name:
Project Number:
Pre Bid Date & Time:

USC Advising Department Renovation in Close-Hipp
H27-2411
2/27/2020 at 10:00 A.M.

SWMBE Contractor?	Name	Company Name	Address	Phone #	Email	License Number
S W M B E	William Griffin	M Dillon Const	89 Mill Creek Pkwy	748-8859	william@m DillonConstruction.com	
S W M B E	Matthew Graham	Palmetto Renovations	112 Harden Street	727-6581	matt@palmettorenovations.com	
S W M B E	Ford Tupper	Sumwalt ass	P O Box 6576	787-8717	Admin@Sumwalt.com	
S W M B E	Peter Goodwin for BILL GRAVES	C.D.I.	6417 FAIRFORD RD. COLLA, SC 29203	754-3395	BGRAVES@CDI-SC.COM	
S W M B E	Hooper Patz	Smith Constructors	Chapin, SC	615-481-2579	hooper@smithconstructors.com	
S W M B E	Revis Gibson	G and C Con	P.O. Box 211821	803-260-0757	SAAsenterprises2@AOL.COM	
S W M B E	Janie Quinn	Hammer Construction	785 Hampton Creek way	803-730-3588	janie@hammer116.com	
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***By signing this sheet you agree to receive information electronically.

University of South Carolina
Pre Bid Sign In Sheet
Columbia, South Carolina

Project Name: USC Advising Department Renovation in Close-Hipp
Project Number: H27-2411
Pre Bid Date & Time: 2/27/2020 at 10:00 A.M.

SWMBE Contractor?	Name	Company Name	Address	Phone #	Email	License Number
S W M B E	SHANNON CROUCH	PALMETTO RENOVATIONS	1112 HARDEN ST. COLUMBIA SC	SHAN C 803.814.7061	SHAN CROUCH@HOTMAIL.COM	
S W M B E	Andrew Brigman	Southern Renovations & Construction LLC	316 Cimarron Trc west Col	803 518 0386	DREW.SRC.LLC@Gmail.com	
S W M B E	Greg Drayton	FARMER CONST. LLC Electrical Division	2661 Bend Street Columbia, SC	803 477-6056	greg@fcLLC.biz	
S W M B E	JEREMY JENKINS	JENKINS INTERIORS	PO 11240 Cole SC 29240	803 414 1206	JENKINSINTERIORS@LIVE.COM	
S W M B E	Brian K Bova	Carlera Const		803-309-6966	wooddoctor39@yahoo	
S W M B E	CARMEN JORDAN	CARBRA Const	2204 Academy St Columbia, SC 29203	803.665.5207	Carmen@carbradesign.com	
S W M B E	Blake Berkeley	Solid Structures	2548 Marygrove Rd West Columbia 29168	903 928 0298	Bberkeley@SolidStructures.info	
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***By signing this sheet you agree to receive information electronically.

SECTION 012300 – ALTERNATES, Revised 02/28/2020

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if the Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternates into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Execute accepted alternates under the same conditions as other work of the Contract.
- C. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

A. Alternate No. 1: Replace existing doors

1. Base Bid: Clean existing doors and frames, paint existing frames, remove existing door hardware, install new door hardware.
2. Alternate: remove existing doors and door hardware, existing frames to remain, clean existing frames and paint, provide and install new doors as scheduled, provide and install new door hardware.

B. Alternate No. 2: Decorative wall display

1. Base Bid: provide blocking in wall for future decorative wall display.
2. Alternate: provide blocking in wall and install Novawall as shown on drawings and described in Finish Schedule.

C. Alternate No. 3: Carpet Substitution

1. Base Bid: Provide CPT4 and CPT5 as scheduled.
2. Alternate: Provide CPT7 in place of CPT4. Provide CPT8 in place of CPT5.

END OF SECTION 012300

SE-330**LUMP SUM BID FORM** **REVISED 02/28/2020***Bidders shall submit bids on only Bid Form SE-330.*

BID SUBMITTED BY: _____
(Bidder's Name)

BID SUBMITTED TO: University of South Carolina
(Owner's Name)

FOR: PROJECT NAME: USC Advising Department Renovation in Close-Hipp
PROJECT NUMBER: H27-Z411

OFFER

§ 1. In response to the Invitation for Construction Services and in compliance with the Instructions to Bidders for the above-named Project, the undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into a Contract with the Owner on the terms included in the Bidding Documents, and to perform all Work as specified or indicated in the Bidding Documents, for the prices and within the time frames indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

§ 2. Pursuant to SC Code § 11-35-3030(1), Bidder has submitted Bid Security as follows in the amount and form required by the Bidding Documents:

Bid Bond with Power of Attorney **Electronic Bid Bond** **Cashier's Check**

(Bidder check one)

§ 3. Bidder acknowledges the receipt of the following Addenda to the Bidding Documents and has incorporated the effects of said Addenda into this Bid:

(Bidder, check all that apply. Note, there may be more boxes than actual addenda. Do not check boxes that do not apply)

ADDENDA: #1 #2 #3 #4 #5

§ 4. Bidder accepts all terms and conditions of the Invitation for Bids, including, without limitation, those dealing with the disposition of Bid Security. Bidder agrees that this Bid, including all Bid Alternates, if any, may not be revoked or withdrawn after the opening of bids, and shall remain open for acceptance for a period of **60** Days following the Bid Date, or for such longer period of time that Bidder may agree to in writing upon request of the Owner.

§ 5. Bidder herewith offers to provide all labor, materials, equipment, tools of trades and labor, accessories, appliances, warranties and guarantees, and to pay all royalties, fees, permits, licenses and applicable taxes necessary to complete the following items of construction work:

§ 6.1 **BASE BID WORK** *(as indicated in the Bidding Documents and generally described as follows):* Renovation of approximately 10,000 sf of interior space for offices, training, reception, break room, conference.

\$ _____, which sum is hereafter called the Base Bid.

(Bidder to insert Base Bid Amount on line above)

SE-330
LUMP SUM BID FORM **REVISED 02/28/2020**

Bidders shall submit bids on only Bid Form SE-330.

§ 6.2 BID ALTERNATES as indicated in the Bidding Documents and generally described as follows:

ALTERNATE # 1 (Brief Description): Remove existing office doors, replace with new wood doors with full glass lites.

ADD TO or **DEDUCT FROM BASE BID:** \$ _____

(Bidder to mark appropriate box to clearly indicate the price adjustment offered for each Alternate)

ALTERNATE # 2 (Brief Description): Provide and install decorative wall system at reception

ADD TO or **DEDUCT FROM BASE BID:** \$ _____

(Bidder to mark appropriate box to clearly indicate the price adjustment offered for each Alternate)

ALTERNATE # 3 (Brief Description): Provide CPT7 in place of CPT4, provide CPT8 for CPT5

ADD TO or **DEDUCT FROM BASE BID:** \$ _____

(Bidder to mark appropriate box to clearly indicate the price adjustment offered for each Alternate)

§ 6.3 UNIT PRICES:

BIDDER offers for the Agency’s consideration and use, the following **UNIT PRICES**. The **UNIT PRICES** offered by **BIDDER** indicate the amount to be added to or deducted from the **CONTRACT SUM** for each item-unit combination. **UNIT PRICES** include all costs to the Agency, including those for materials, labor, equipment, tools of trades and labor, fees, taxes, insurance, bonding, overhead, profit, etc. The Agency reserves the right to include or not to include any of the following **UNIT PRICES** in the Contract and to negotiate the **UNIT PRICES** with **BIDDER** prior to including in the Contract.

<u>No.</u>	<u>ITEM</u>	<u>UNIT OF MEASURE</u>	<u>ADD</u>	<u>DEDUCT</u>
<u>1.</u>	<u>N/A</u>	<u>_____</u>	<u>\$</u>	<u>\$</u>
<u>2.</u>	<u>_____</u>	<u>_____</u>	<u>\$</u>	<u>\$</u>
<u>3.</u>	<u>_____</u>	<u>_____</u>	<u>\$</u>	<u>\$</u>
<u>4.</u>	<u>_____</u>	<u>_____</u>	<u>\$</u>	<u>\$</u>
<u>5.</u>	<u>_____</u>	<u>_____</u>	<u>\$</u>	<u>\$</u>
<u>6.</u>	<u>_____</u>	<u>_____</u>	<u>\$</u>	<u>\$</u>

SE-330
LUMP SUM BID FORM **REVISED 02/28/2020**

§ 7. LISTING OF PROPOSED SUBCONTRACTORS PURSUANT TO SECTION 3020(b)(i), CHAPTER 35, TITLE 11 OF THE SOUTH CAROLINA CODE OF LAWS, AS AMENDED
(See Instructions on the following page BF-2A)

Bidder shall use the below-listed Subcontractors in the performance of the Subcontractor Classification work listed:

(A) SUBCONTRACTOR LICENSE CLASSIFICATION or SUBCLASSIFICATION NAME <i>(Completed by Owner)</i>	(B) LICENSE CLASSIFICATION or SUBCLASSIFICATION ABBREVIATION <i>(Completed by Owner)</i>	(C) SUBCONTRACTOR and/or PRIME CONTRACTOR <i>(Required - must be completed by Bidder)</i>	(D) SUBCONTRACTOR'S and/or PRIME CONTRACTOR'S SC LICENSE NUMBER <i>(Requested, but not Required)</i>
BASE BID			
N/A			
ALTERNATE #1			
N/A			
ALTERNATE #2			
N/A			
ALTERNATE #3			
N/A			

If a Bid Alternate is accepted, Subcontractors listed for the Bid Alternate shall be used for the work of both the Alternate and the Base Bid work.

SE-330
LUMP SUM BID FORM **REVISED 02/28/2020**

INSTRUCTIONS FOR SUBCONTRACTOR LISTING

1. Section 7 of the Bid Form sets forth an Owner-developed list of subcontractor license classifications or subclassifications for which Bidder is required to identify the entity (subcontractor(s) and/or himself) Bidder will use to perform this work.
 - a. **Columns A & B:** The Owner fills out these columns to identify the subcontractor license classification/subclassification and related license abbreviation for which the Bidder must list either a subcontractor or himself as the entity that will perform this work. In Column A, the subcontractor license classification/subclassification is identified by name and in Column B, the related contractor license abbreviation (per Title 40 of the SC Code of Laws) is listed. Abbreviations of licenses can be found at: <https://lr.sc.gov/clb/PDFFiles/CLBClassificationAbbreviations.pdf>. If the owner has not identified a subcontractor license classification/subclassification, the Bidder does not list a subcontractor.
 - b. **Columns C and D:** In these columns, the Bidder identifies the subcontractors it will use for the work of each license listed by the Owner in Columns A & B. Bidder must identify only the subcontractor(s) who will perform the work and no others. Bidders must make sure that their identification of each subcontractor is clear and unambiguous. A listing that could be any number of different entities may be cause for rejection of the bid as non-responsive. For example, a listing of M&M without additional information may be problematic if there are multiple different licensed contractors in South Carolina whose names start with M&M.
2. **Subcontractor Defined:** For purposes of subcontractor listing, a subcontractor is an entity who will perform work or render service to the prime contractor to or about the construction site pursuant to a contract with the prime contractor. Bidder should not identify sub-subcontractors in the spaces provided on the bid form but only those entities with which Bidder will contract directly. Likewise, do not identify material suppliers, manufacturers, and fabricators that will not perform physical work at the site of the project but will only supply materials or equipment to the Bidder or proposed subcontractor(s).
3. **Subcontractor Qualifications:** Bidder must only list subcontractors who possess a South Carolina contractor's license that includes the license classification and/or subclassification identified by the Owner in Columns A & B. The subcontractor license must also be within the appropriate license group for the work. If Bidder lists a subcontractor who is not qualified to perform the work, the Bidder will be rejected as non-responsible.
4. **Use of Own forces:** If, under the terms of the Bidding Documents and SC Contractor Licensing laws, Bidder is qualified to perform the work of a listed subcontractor classification or subclassification and Bidder does not intend to subcontract such work but to use Bidder's own employees to perform such work, the Bidder must insert itself in the space provided.
5. **Use of Multiple Subcontractors:**
 - a. If Bidder intends to use multiple subcontractors to perform the work of a single license classification/subclassification, Bidder must insert the name of each subcontractor Bidder will use, preferably separating the name of each by the word **"and"**. If Bidder intends to use both his own employees to perform a part of the work of a single license classification/subclassification and to use one or more subcontractors to perform the remaining work, Bidder must insert itself and each subcontractor, preferably separating them with the word **"and"**. Bidder must use each entity listed for the work of a single license classification/subclassification in the performance of that work.
 - b. **Optional Listing Prohibited:** Bidder may not list multiple subcontractors for a license classification/subclassification in a form that provides the Bidder the option, after bid opening or award, to choose one or more but not all the listed subcontractors to perform the work for which they are listed. A listing, which on its face requires subsequent explanation to determine whether it is an optional listing, is non-responsive. If Bidder intends to use multiple entities to perform the work for a single listing, Bidder must clearly set forth on the bid form such intent. Bidder may accomplish this by simply inserting the word **"and"** between the names of each entity listed. Agency will reject as non-responsive a listing that contains the names of multiple subcontractors separated by a blank space, the word **"or"**, a virgule (that is a /), or any separator that the Agency may reasonably interpret as an optional listing.
6. If Bidder is awarded the contract, Bidder must, except with the approval of the Agency for good cause shown, use the listed entities to perform the work for which they are listed.
7. If Bidder is awarded the contract, Bidder will not be allowed to substitute another entity as subcontractor in place of a subcontractor listed in Section 7 of the Bid except for one or more of the reasons allowed by the SC Code of Laws.
8. Bidder's failure to identify an entity (subcontractor or himself) to perform the work of a subcontractor listed in Columns A & B will render the Bid non-responsive.

SE-330**LUMP SUM BID FORM** **REVISED 02/28/2020****§ 8. LIST OF MANUFACTURERS, MATERIAL SUPPLIERS, AND SUBCONTRACTORS OTHER THAN SUBCONTRACTORS LISTED IN SECTION 7 ABOVE (FOR INFORMATION ONLY):**

Pursuant to instructions in the Invitation for Construction Services, if any, Bidder will provide to Owner upon the Owner's request and within 24 hours of such request, a listing of manufacturers, material suppliers, and subcontractors, other than those listed in Section 7 above, that Bidder intends to use on the project. Bidder acknowledges and agrees that this list is provided for purposes of determining responsibility and not pursuant to the subcontractor listing requirements of SC Code § 11-35-3020(b)(i).

§ 9. TIME OF CONTRACT PERFORMANCE AND LIQUIDATED DAMAGES**a) CONTRACT TIME**

Bidder agrees that the Date of Commencement of the Work shall be established in a Notice to Proceed to be issued by the Owner. Bidder agrees to substantially complete the Work within 110 Calendar Days from the Date of Commencement, subject to adjustments as provided in the Contract Documents.

b) LIQUIDATED DAMAGES

Bidder further agrees that from the compensation to be paid, the Owner shall retain as Liquidated Damages the amount of \$ 150.00 for each Calendar Day the actual construction time required to achieve Substantial Completion exceeds the specified or adjusted time for Substantial Completion as provided in the Contract Documents. This amount is intended by the parties as the predetermined measure of compensation for actual damages, not as a penalty for nonperformance.

§ 10. AGREEMENTS

- a) Bidder agrees that this bid is subject to the requirements of the laws of the State of South Carolina.
- b) Bidder agrees that at any time prior to the issuance of the Notice to Proceed for this Project, this Project may be canceled for the convenience of, and without cost to, the State.
- c) Bidder agrees that neither the State of South Carolina nor any of its agencies, employees or agents shall be responsible for any bid preparation costs, or any costs or charges of any type, should all bids be rejected or the Project canceled for any reason prior to the issuance of the Notice to Proceed.

§ 11. ELECTRONIC BID BOND

By signing below, the Principal is affirming that the identified electronic bid bond has been executed and that the Principal and Surety are firmly bound unto the State of South Carolina under the terms and conditions of the AIA Document A310, Bid Bond, included in the Bidding Documents.

ELECTRONIC BID BOND NUMBER: _____

SIGNATURE AND TITLE: _____

SE-330
LUMP SUM BID FORM **REVISED 02/28/2020**

CONTRACTOR'S CLASSIFICATIONS AND SUBCLASSIFICATIONS WITH LIMITATION

SC Contractor's License Number(s): _____

Classification(s) & Limits: _____

Subclassification(s) & Limits: _____

By signing this Bid, the person signing reaffirms all representation and certification made by both the person signing and the Bidder, including without limitation, those appearing in Article 2 of the SCOSE Version of the AIA Document A701, Instructions to Bidders, is expressly incorporated by reference.

BIDDER'S LEGAL NAME: _____

ADDRESS: _____

TELEPHONE: _____

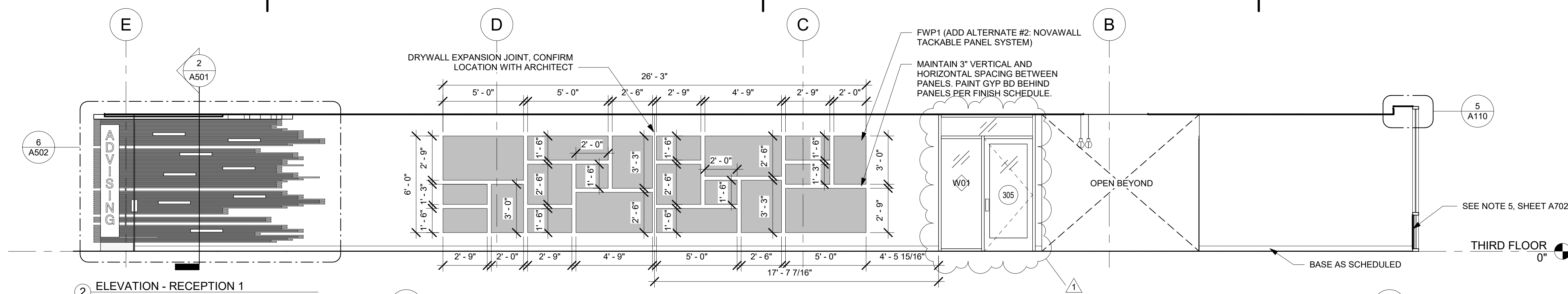
EMAIL: _____

SIGNATURE: _____ **DATE:** _____

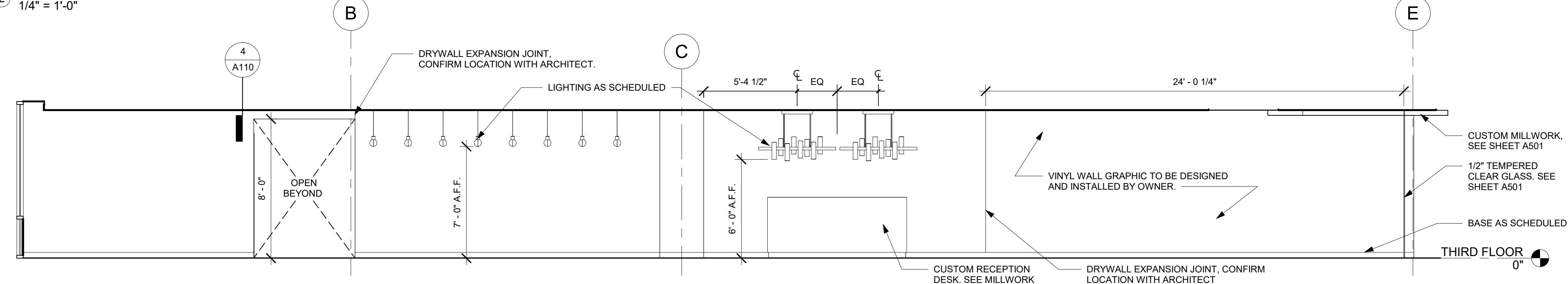
PRINT NAME: _____

TITLE: _____

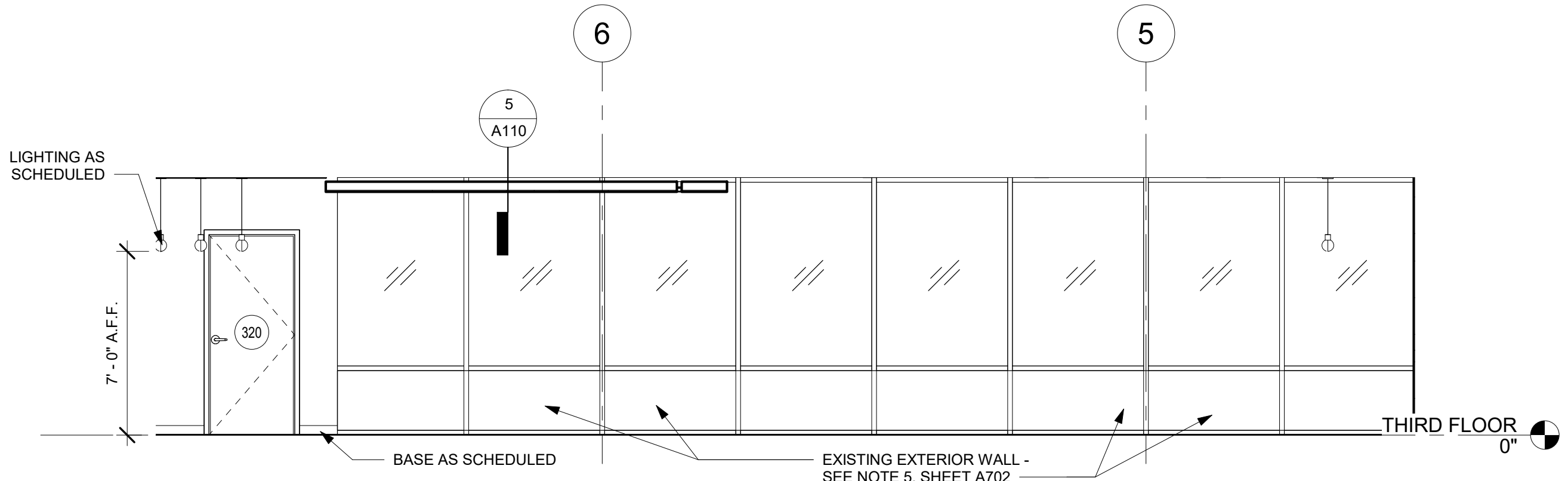
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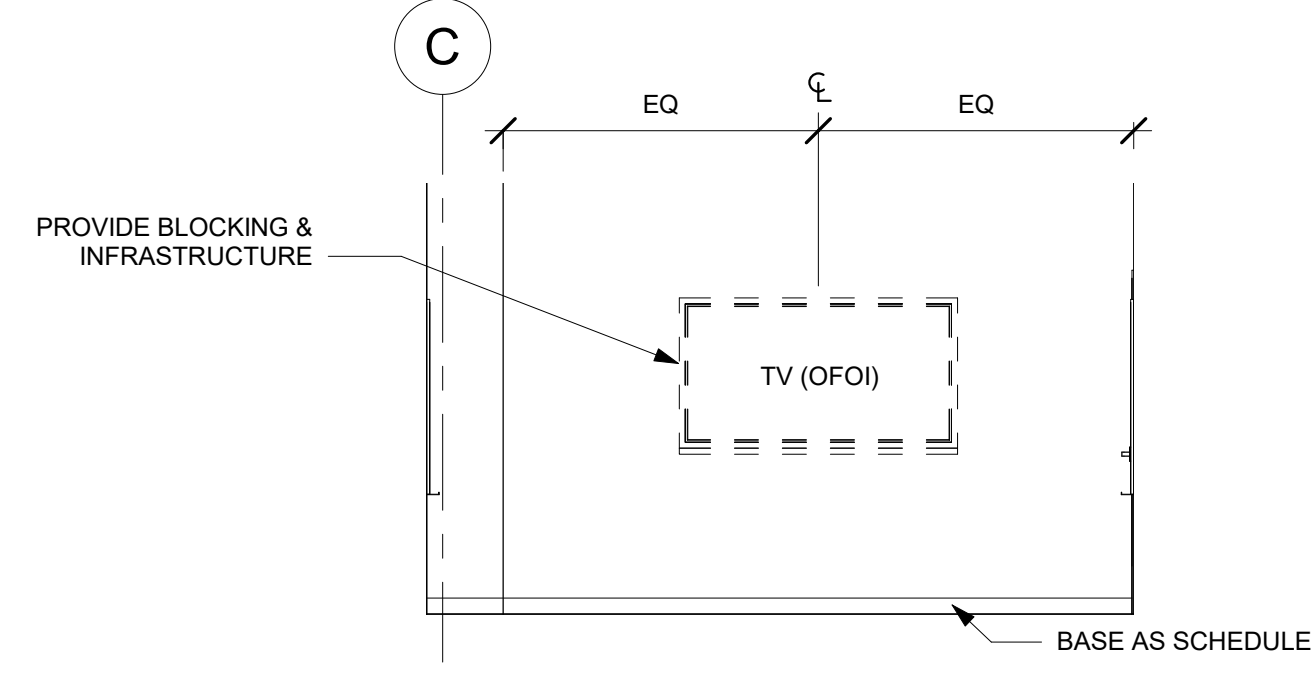
2 ELEVATION - RECEPTION 1
1/4" = 1'-0"



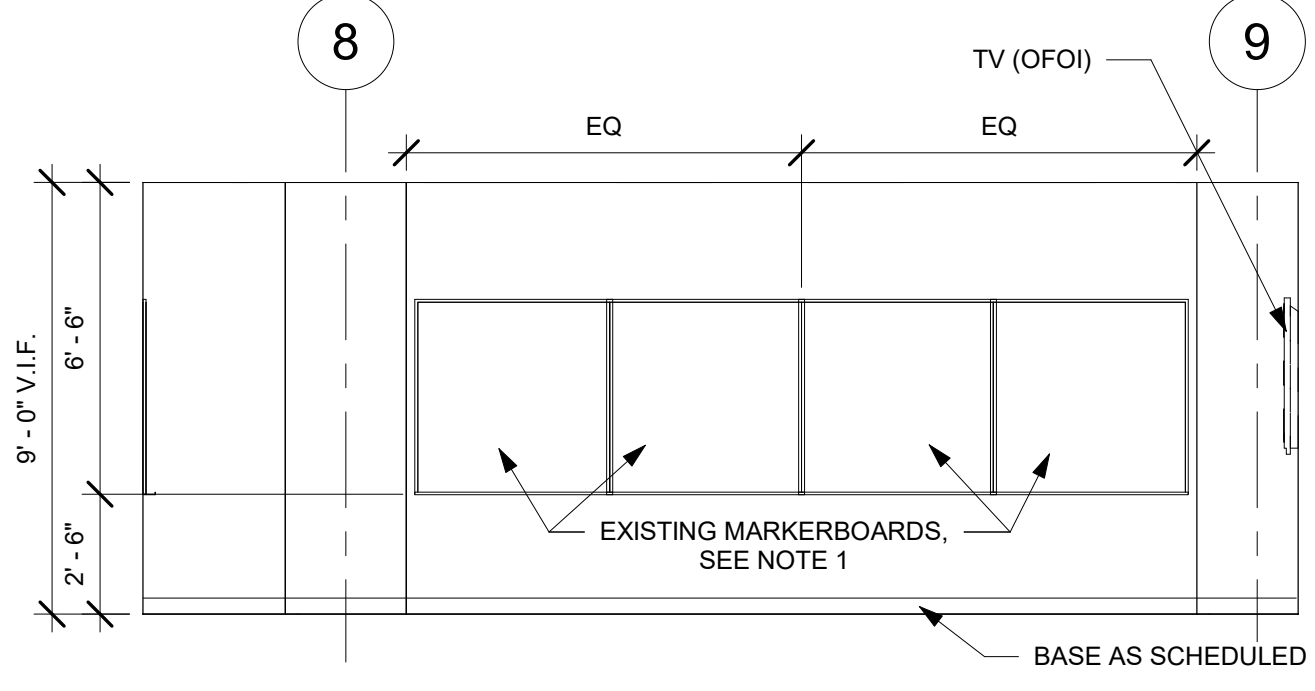
3 ELEVATION - RECEPTION 2
1/4" = 1'-0"



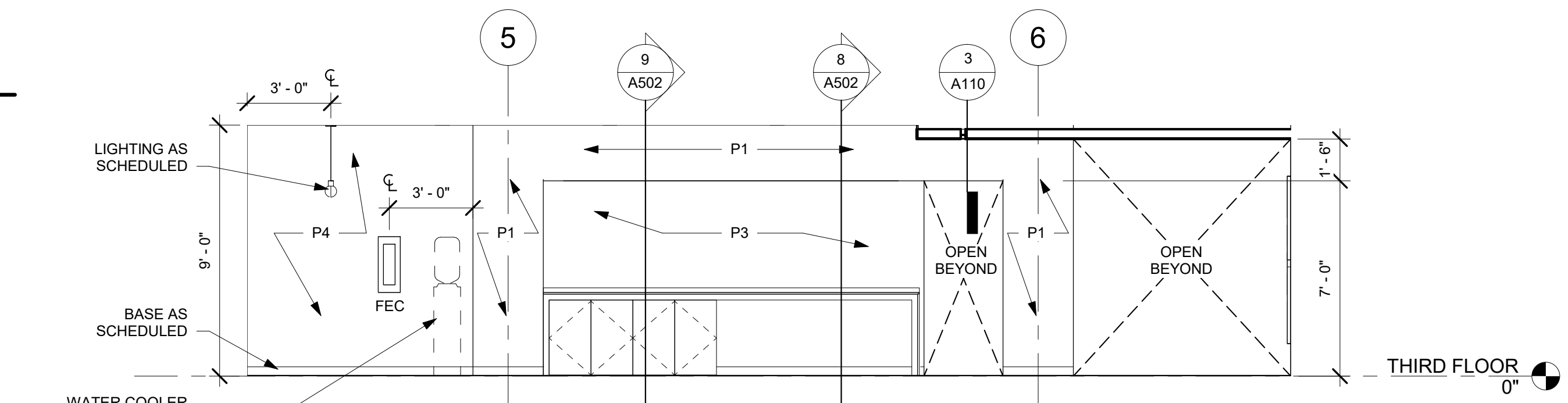
5 ELEVATION - LOUNGE 2
1/4" = 1'-0"



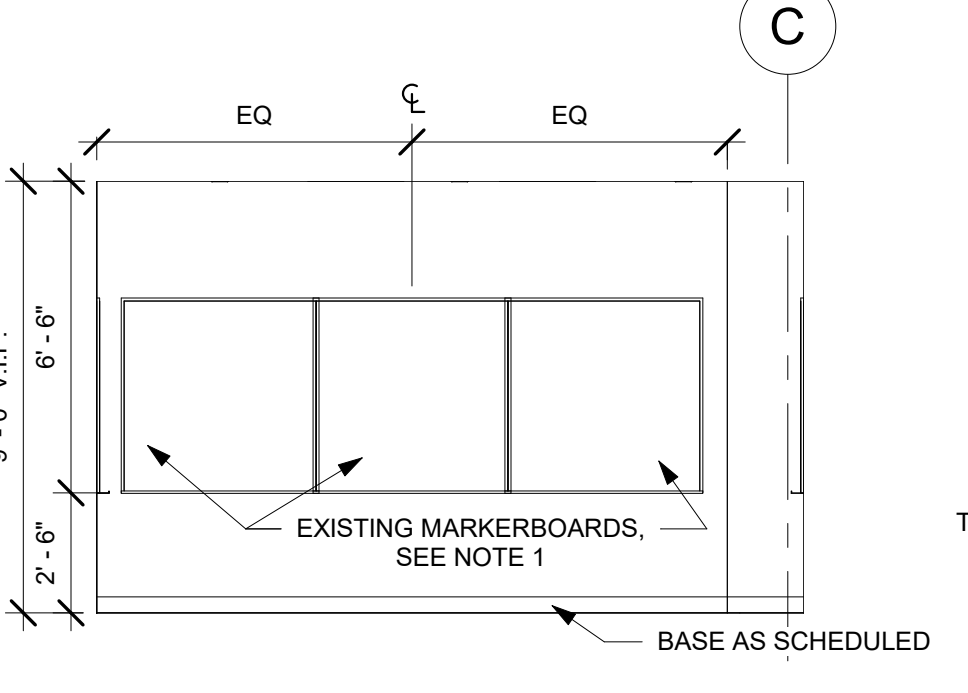
1 CONFERENCE ROOM - EAST ELEVATION
1/4" = 1'-0"



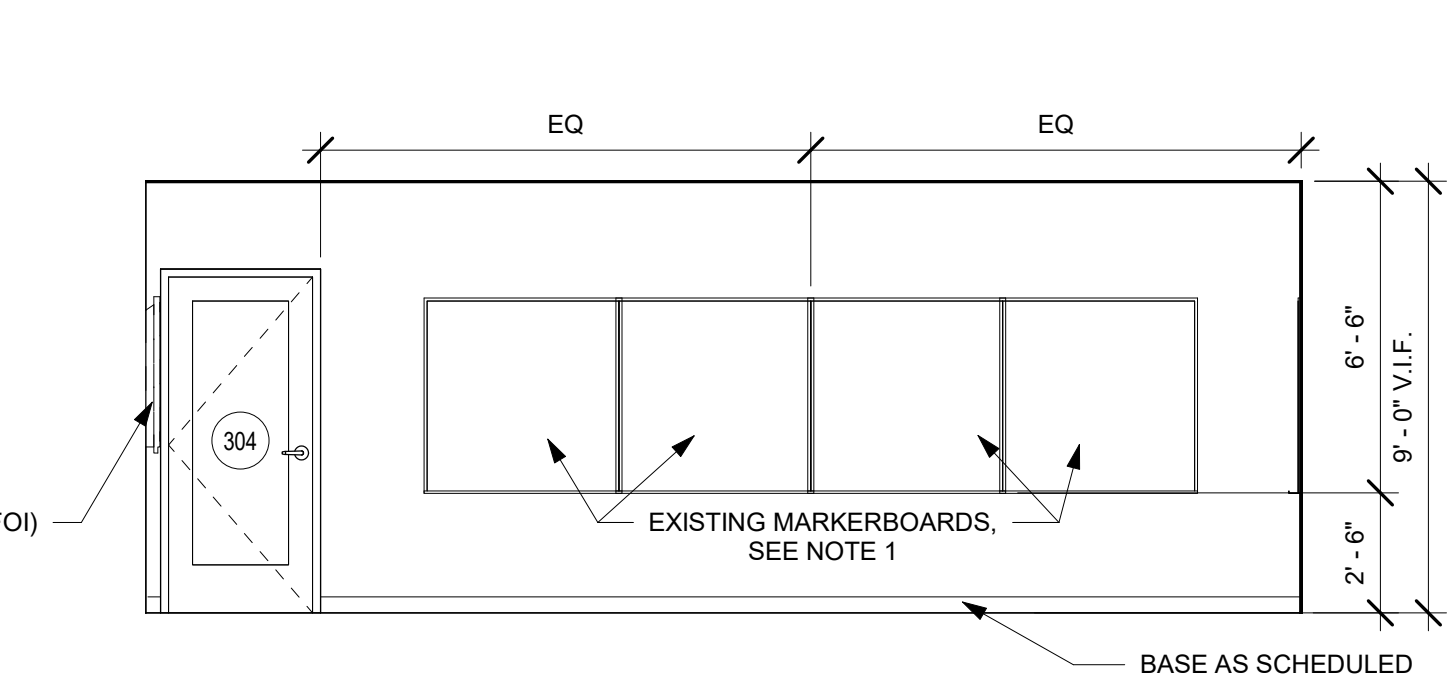
9 CONFERENCE ROOM - NORTH ELEVATION
1/4" = 1'-0"



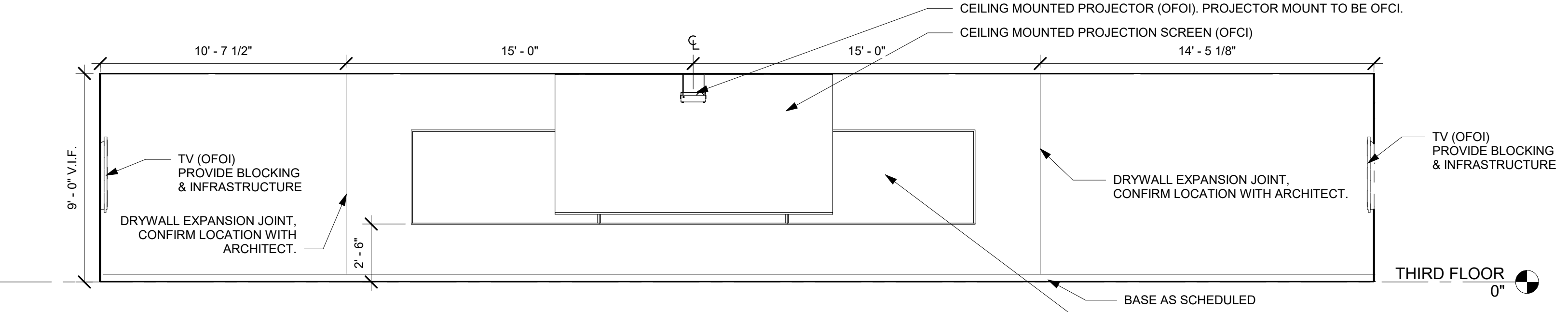
7 ELEVATION - LOUNGE 4
1/4" = 1'-0"



11 CONFERENCE ROOM - WEST ELEVATION
1/4" = 1'-0"



10 CONFERENCE ROOM - SOUTH ELEVATION
1/4" = 1'-0"



8 ELEVATION - TRAINING ROOM
1/4" = 1'-0"

NOTE 1:
ALL MARKERBOARDS IN CONFERENCE ROOM 304 TO BE RELOCATED FROM EXISTING ADVISING CONFERENCE ROOM AND INSTALLED BY CONTRACTOR. CONFIRM SIZE AND MOUNTING HEIGHTS OF MARKERBOARDS. PROVIDE BLOCKING FOR MOUNTING AS NEEDED. ONE MARKERBOARD TO BE RELOCATED TO ADVISOR OFFICE. COORDINATE INSTALLATION LOCATION WITH OWNER.

STUDIO 2LR
STUDIO 2LR, INC.
2428 MAIN STREET
COLUMBIA, SC 29201
P 803.233.6602
STUDIO2LR.COM

South Carolina
Uof SC
WILLIAM WESLEY LYLES, IV
COLUMBIA 1856
REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
REGISTERED ARCHITECTS
WILLIAM WESLEY LYLES, IV
COLUMBIA 1856

STATE OF SOUTH CAROLINA
REGISTERED ARCHITECTS
STUDIO 2LR, INC.
Columbia, SC
No. 100136

CLIENT NAME
UNIVERSITY OF SOUTH CAROLINA
PROJECT NAME
UofSC ADVISING CENTER
CLOSE-HIPP BLDG, 3RD FLR
LOCATION
1705 COLLEGE ST. COLUMBIA, SC

REVISIONS		
NO.	DATE	DESCRIPTION
1	02/28/20	Revision 1

PROJECT NUMBER **19045**
SHEET NUMBER
A201
SHEET NAME
INTERIOR ELEVATIONS
DATE **01/31/2020**

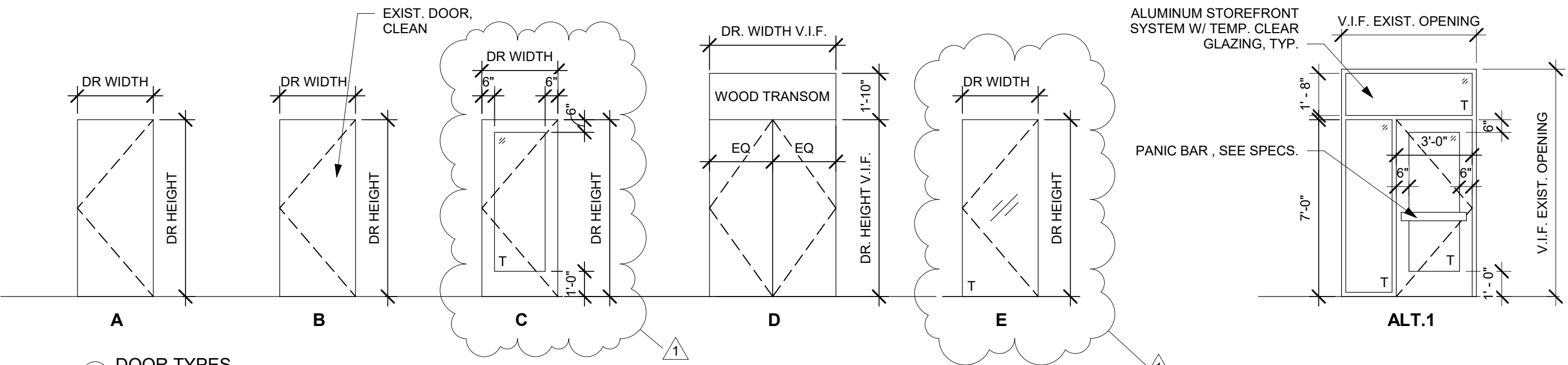
ISSUED FOR BIDDING - 01/31/2020

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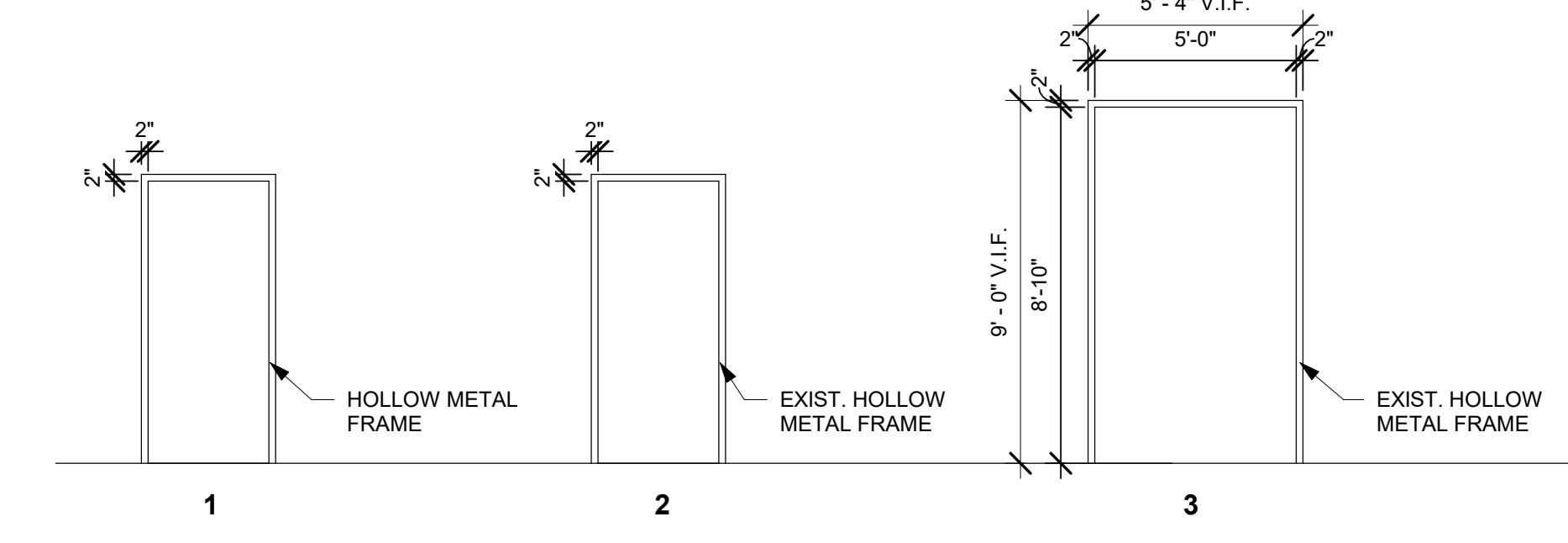
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DOOR SCHEDULE														
NUMBER	SIZE		DOOR TYPE	DOOR			FIRE RATING	FRAME			HEAD	JAMB	SILL	COMMENTS
	WIDTH	HEIGHT		MATERIAL	FINISH	TYPE		MATERIAL	FINISH					
301	3'-0"	8'-0"	E	GLASS									SEE INTERIOR ELEVATIONS FOR GLASS DOOR ENTRY. 4'-0" LADDER PULL. BRUSHED STAINLESS FINISH, SEE SPECS. FOR DOOR LOCK, PATCH FITTINGS, AND CONCEALED CLOSER	
302	3'-0"	7'-0"	A	WOOD	WD1		2	EXIST. HM	P5				REPLACE DOOR AND TRANSOM, EXIST. FRAME TO REMAIN, ADD PANIC HARDWARE, SEE SPECS.	
303	3'-0"	7'-0"	A	WOOD	WD1		2	EXIST. HM	P5				REPLACE DOOR AND TRANSOM, EXIST. FRAME TO REMAIN, ADD PANIC HARDWARE, SEE SPECS.	
304	3'-0"	7'-0"	C	WOOD	WD1		1	HM	P5	7/A601	8/A601	9/A601	SEE INTERIOR ELEVATIONS FOR STOREFRONT DETAILS. 90 DEGREE DOOR STOP, SEE 6/A601	
305	3'-0"	7'-0"	C	WOOD	WD1									
306	3'-0"	7'-0"	C	WOOD	WD1		1	HM	P5	H1	J1			
306A	3'-0"	7'-0"	A	WOOD	WD1		1	HM	P5	H1	J1			
307	3'-0"	7'-0"	C	WOOD	WD1		1	HM	P5	H1	J1			
308	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
309	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
310	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
311	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
312	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
313	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
314	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
314A	1'-6"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN	
315	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
316	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
317	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
318	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
319	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
320	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
321	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
322	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
323	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
324	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
325	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
326	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
327	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
327A	1'-6"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN	
328	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
329	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
330	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
331	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
332	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
333	3'-0"	7'-0"	B	EXIST. WOOD			2	EXIST. HM	P5				EXISTING DOOR AND FRAME TO REMAIN, SEE ALT.1	
H302	5'-0"	7'-0"	D	WOOD	WD1		3	HM	P5				REPLACE DOORS AND WOOD TRANSOM, EXIST. FRAME TO REMAIN FOR BASE BID, PANIC HARDWARE TO BE ADDED, SEE ALSO ALT. 1, AND SPECS.	
H303	5'-0"	7'-0"	D	WOOD	WD1		3	HM	P5				REPLACE DOORS AND WOOD TRANSOM, EXIST. FRAME TO REMAIN FOR BASE BID, PANIC HARDWARE TO BE ADDED, SEE ALSO ALT. 1, AND SPECS.	

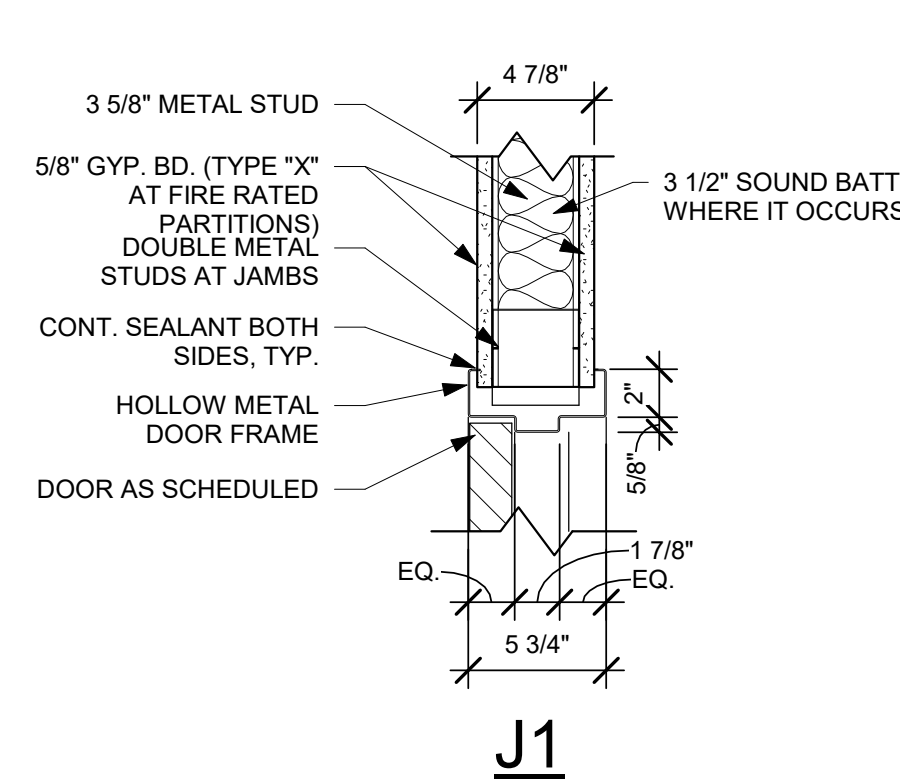
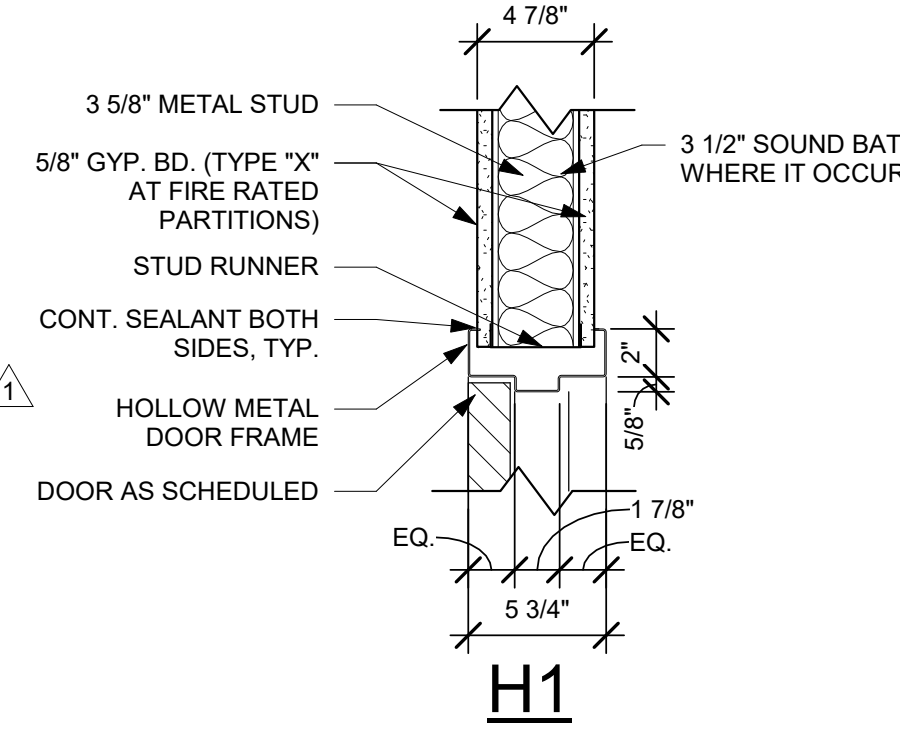
ALT.1
 FOR DOORS 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, REMOVE EXIST. DOOR AND HARDWARE, EXIST. FRAME PREP FOR PAINT. INSTALL DOOR TYPE C, WOOD WD1 FINISH.
 FOR DOORS H302, H303, REMOVE EXIST. DOORS, HARDWARE, TRANSOM, AND FRAME. INSTALL STOREFRONT PER DOOR TYPE "ALT. 1" THIS SHEET.



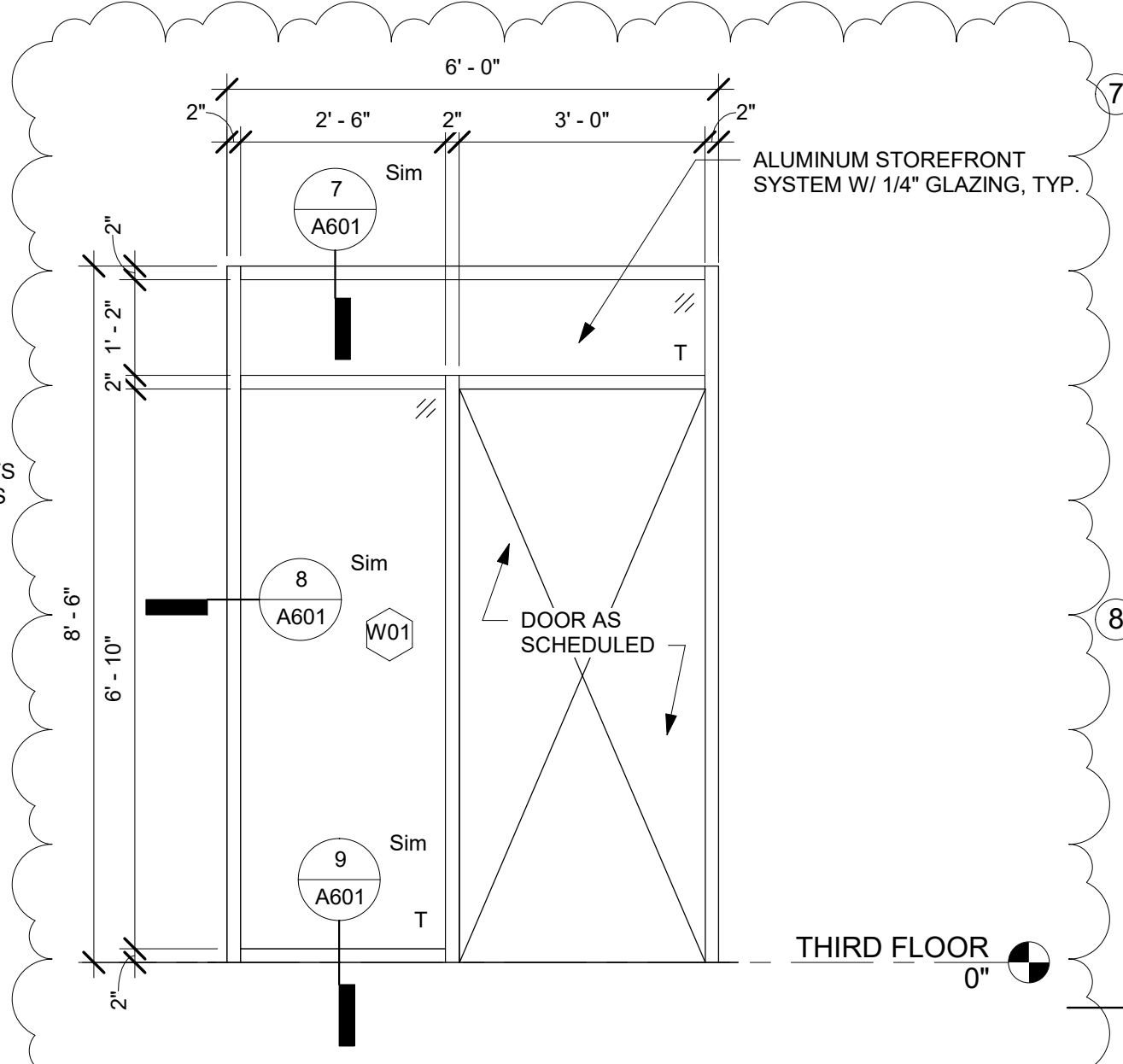
2 DOOR TYPES
1/4" = 1'-0"



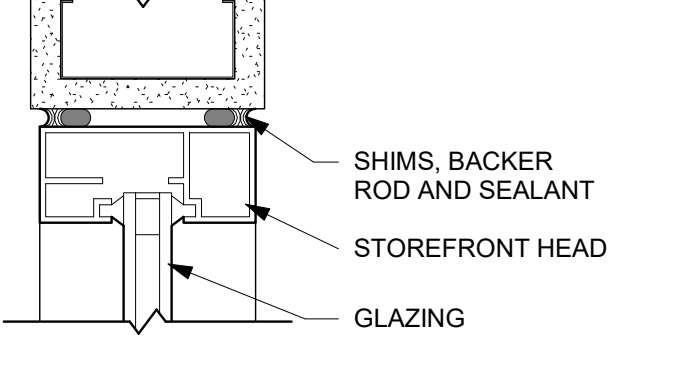
3 FRAME TYPES
1/4" = 1'-0"



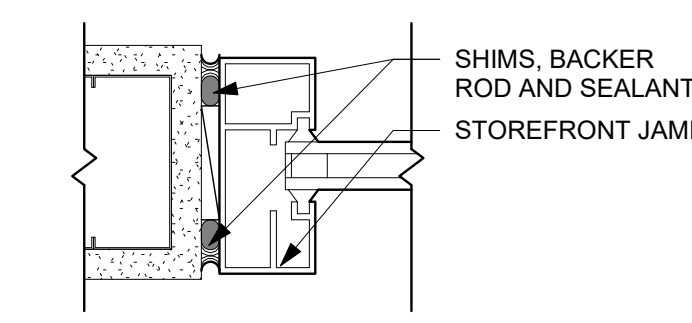
1 H1 - HEAD AND JAMB DETAIL
1 1/2" = 1'-0"



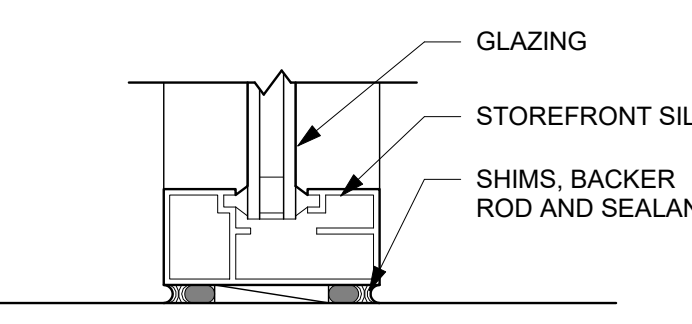
6 W01 - STOREFRONT - HEAD DETAIL
1 1/2" = 1'-0"



7 STOREFRONT - HEAD DETAIL
3" = 1'-0"



8 STOREFRONT - JAMB DETAIL
3" = 1'-0"



9 STOREFRONT - SILL DETAIL
3" = 1'-0"

STUDIO 2LR
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 2428 MAIN STREET
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South Carolina
 Uof SC
 REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
 WILLIAM WESLEY LYLES, IV
 COLUMBIA
 1956
 REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
 STUDIO 2LR INC.
 Columbia, SC
 No. 100136
 REGISTERED ARCHITECTS

CLIENT NAME
 UNIVERSITY OF SOUTH CAROLINA
 PROJECT NAME
 UofSC ADVISING CENTER
 CLOSE-HIPP BLDG, 3RD FLR
 LOCATION
 1705 COLLEGE ST. COLUMBIA, SC

ISSUED FOR BIDDING - 01/31/2020

REVISIONS		
NO.	DATE	DESCRIPTION
1	02/28/20	Revision 1

PROJECT NUMBER **19045**
 SHEET NUMBER
A601
 SHEET NAME
DOOR SCHEDULE & STOREFRONT DETAILS
 DATE **01/31/2020**

02/28/2020 12:28:52 PM

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FINISH SPECIFICATION					
TAG	ITEM	MANUFACTURER	DESCRIPTION	SIZE	NOTES
CARPET (CPT)					
CPT1	CARPET TILE	INTERFACE	PATTERN: VIDEO SPECTRUM, SIMPLE ABSTRACTION, #125610AK00; COLOR:106011 CARBON	25CM X 1M	INSTALL IN ASHLAR PATTERN
CPT2	CARPET TILE	INTERFACE	PATTERN: ICE BREAKER, #1473002500; COLOR: 106196 GARNET	50CM X 50CM	INSTALL IN MONOLITHIC PATTERN
CPT3	CARPET TILE	INTERFACE	PATTERN: VIDEO SPECTRUM, SIMPLE ABSTRACTION, #125610AK00; COLOR: 106014 URBAN	25CM X 1M	INSTALL IN ASHLAR PATTERN
CPT4	CARPET TILE	INTERFACE	PATTERN: HAPTIC, #139320AK00; COLOR: 106459 BLACK	25CM X 1M	INSTALL IN ASHLAR PATTERN
CPT5	CARPET TILE	INTERFACE	PATTERN: AE311, AERIAL, #138830AK00; COLOR: 104669 FOG	25CM X 1M	INSTALL IN ASHLAR PATTERN
CPT6	CARPET TILE	INTERFACE	PATTERN: DUPLEX, SECOND STORY, #1256002500; COLOR: 105891 UPPER EAST	50CM X 50CM	INSTALL IN MONOLITHIC PATTERN
CPT7	CARPET TILE	BENTLEY	PATTERN: REDACTED, #8RF23; COLOR: PAGE TURNER 801520	18" X 36"	INSTALL IN ASHLAR PATTERN. REFER TO ALT.3.
CPT8	CARPET TILE	MANNINGTON commercial	PATTERN: STOCKINETTE; COLOR: ROW 11726	12" X 48"	INSTALL IN ASHLAR PATTERN. REFER TO ALT.3.
LUXURY VINYL TILE...					
LVT1	VINYL TILE PLANKS	MANNINGTON commercial	COLLECTION: NORTHERN WONDER; STYLE: APPARITION; COLOR: MIST (NW101); MICROBEVELED EDGES, QUANTUM GUARD FINISH; QUICKSTIX PRE-APPLIED ADHESIVE: 40	6" x 48" PLANKS	INSTALL RUNNING PLANKS IN ALL SAME DIRECTION, STAGGERED END JOINTS 12" FROM END JOINTS
PAINT (P)					
P1	WALL PAINT	SHERWIN WILLIAMS	COLOR: REPOSE GRAY # SW7015; FINISH: EGG SHELL	--	SEE FINISH PLAN AND FINISH SCHEDULE.
P2	WALL PAINT	SHERWIN WILLIAMS	COLOR: DORIAN GRAY # SW7017; FINISH: EGG SHELL	--	SEE FINISH PLAN AND FINISH SCHEDULE.
P3	WALL PAINT	BENJAMIN MOORE	COLOR: LADYBUG RED # 1322; FINISH: FLAT	--	SEE FINISH PLAN AND FINISH SCHEDULE.
P4	WALL PAINT	SHERWIN WILLIAMS	COLOR: LOCH BLUE # SW6502; FINISH: EGG SHELL	--	SEE FINISH PLAN AND FINISH SCHEDULE.
P5	WALL PAINT AND DOOR FRAMES...	SHERWIN WILLIAMS	COLOR: DOVETAIL # SW7018; FINISH: EGG SHELL (WALLS) SATIN (DOOR FRAMES)	--	SEE DOOR SCHEDULE.
P6	CEILING PAINT	SHERWIN WILLIAMS	COLOR: CEILING BRIGHT WHITE # SW7007; FINISH: FLAT	--	SEE FINISH SCHEDULE AND REFLECTED CEILING PLAN.
PLASTIC LAMINATE (PL)					
PL1	PLASTIC LAMINATE	FORMICA	PATTERN: DANISH MAPLE # 8906-58; FINISH: MATTE	4'W X 8'L	SEE INTERIOR ELEVATIONS.
PL2	PLASTIC LAMINATE	FORMICA	PATTERN: PALOMA POLAR # 6698-58; FINISH: MATTE	4'W X 8'L	SEE INTERIOR ELEVATIONS.
PL3	PLASTIC LAMINATE	FORMICA	PATTERN: SPECTRUM RED # 845-58; FINISH: MATTE	4'W X 8'L	SEE INTERIOR ELEVATIONS AT ENTRY.
PL4	PLASTIC LAMINATE	FORMICA	PATTERN: CHROME YELLOW # CHROME YELLOW; FINISH: MATTE	4'W X 8'L	SEE INTERIOR ELEVATIONS AT ENTRY.
PL5	PLASTIC LAMINATE	FORMICA	PATTERN: VIBRANT GREEN # 6901-58; FINISH: MATTE	4'W X 8'L	SEE INTERIOR ELEVATIONS AT ENTRY.
PL6	PLASTIC LAMIANTE	FORMICA	PATTERN: MATRIX BLUE # 8795-58; FINISH: MATTE	4'W X 8'L	SEE INTERIOR ELEVATIONS AT ENTRY.
PL7	PLASTIC LAMINATE	WILSONART	PATTERN: STEEL MESH # 4879-38; FINISH: FINE VELVET	4'W X 8'L	SEE INTERIOR ELEVATIONS FOR RECEPTION DESK.
COUNTERTOP (C)					
C1	QUARTZ	WILSONART	PATTERN: HALDI; COLOR: # Q4032; PRODUCT TYPE 62	65" X 130" SLAB / 2 CM	REFER TO ELEVATIONS.
C2	QUARTZ	WILSONART	PATTERN: SALAR; COLOR: # Q4028; PRODUCT TYPE 62	65" X 130" SLAB / 2 CM	REFER TO ELEVATIONS.
WOOD (WD)					
WD1	SOLID WOOD WITH TRANSPARENT FINISH	CONTRACTOR	SELECT GRADE SOLID WHITE OAK, KNOT FREE, FINISH: CLEAR TRANSPARENT STAIN	1" X 6" (WALL) 1" X 4" (CEILING) LENGTH VARIES	SEE ENLARGED PLANS, DETAILS AND INTERIOR ELEVATIONS.
WD2	SOLID WOOD WITH PAINTED FINISH	CONTRACTOR	WOOD SPECIES: POPLAR; FINISH: PAINTED (P1) SATIN FINISH		SEE ENLARGED PLANS, DETAILS, AND INTERIOR ELEVATIONS.
RESIN (R)					
R1	DECORATIVE RESIN	3-FORM	MATERIAL: CHROMA, WHITE OUT W01, FF: VELLUM F04, BF: VELLUM F04; LETTERING: FACTORY FINISHED LASER ENGRAVED	1/2" THICK	REFER TO INTERIOR ELEVATIONS AND DETAILS.
BASE (B)					
B1	RUBBER BASE	TARKETT	TYPE: TRADITIONAL DURACOVE THERMOPLASTIC RUBBER (TP); COLOR: 55 SILVER GREY	4" HT - TOE/COVE	
WINDOW TREATMENT...					
WT1	HORIZONTAL WINDOW BLINDS	HUNTER DOUGLAS	STYLE: ALUMINUM HORIZONTAL SLATS (MATCH EXISTING)	1" SLATS - FIELD VERIFY WINDOWS FOR WIDTHS	REFER TO SPECIFICATIONS. BLINDS TO OCCUR AT ALL WINDOWS AT EXTERIOR WALL.
FABRIC WRAPPED...					
FWP1	FABRIC WRAPPED PANELS	WARCO CONSTRUCTION / NOVAWALL SYSTEMS	PRODUCT: 1/2" CONCEALED SQUARE EDGE FABRIC WRAPPED PANELS, SITE FABRICATED; CORE: TACKABLE; FABRIC: COM, 20\$YD ALLOWANCE, TACKABLE FABRIC; EXTRUSION COLOR: COCONUT.	REFER TO INTERIOR ELEVATIONS FOR PANEL LAYOUT	ADD ALTERNATE #2. SEE INTERIOR ELEVATION.

- GENERAL FINISH NOTES**
1. WALL FINISH DIRECTION IS BASED ON PLAN ORIENTATION (I.E. NORTH WALL REFERS TO PLAN NORTH).
 2. PROVIDE CODE COMPLIANT TRANSITION STRIPS WHERE NEEDED.
 3. PREP ALL SUB SURFACES TO RECEIVE NEW FINISH PER MANUFACTURER'S WRITTEN INSTRUCTIONS. ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS WRITTEN INSTRUCTIONS. ALL MATERIALS TO BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR FABRICATION AND INSTALLATION.
 4. WHERE FLOOR TRENCHING OCCURS, LEVEL AND PREP NEW CONCRETE SUBSTRATE TO RECEIVE NEW FINISHES PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 5. ALL EXISTING EXTERIOR WALL, INTERIOR METAL PANELS AND MULLIONS, TO BE CLEANED. SECURE ANY LOOSE PANELS AND PROVIDE FASTENERS WHERE MISSING. CAULK (BLACK) WHERE DAYLIGHT HOLES OCCUR. AT STUDENT LOUNGE ROOM 305, PAINT METAL PANELS TO MATCH EXISTING PANEL COLOR.
 6. WHERE LVT AND CARPET ABUTT IN OPEN SPACES (NOT UNDER A DOOR), PROVIDE A SMOOTH LEVEL TRANSITION, TIGHT JOINT OF MATERIALS. CARPET EDGES TO ABUTT LVT TO BE FACTORY FINISHED EDGES. NO CUT CARPET EDGES AT LVT TRANSITION.
 7. SEE DOOR SCHEDULE AND SPECIFICATIONS FOR DOOR AND DOOR FRAME FINISHES.
 8. SEE REFLECTED CEILING PLAN FOR EXTENT OF NEW CEILING AND CEILING UNDER SEPARATE SCOPE OF WORK.
 9. REFER TO MILLWORK DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH FINISHES.

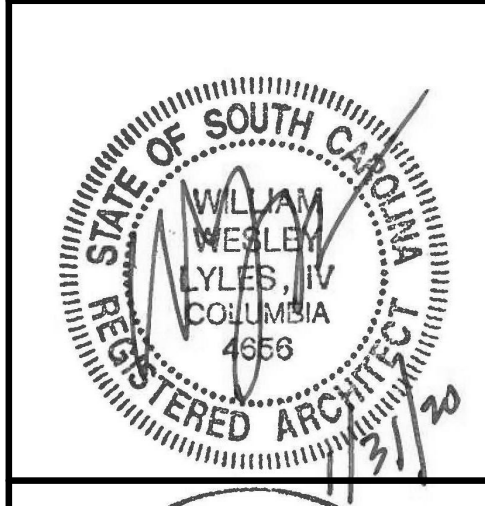
ALT.3 -
 PROVIDE CPT7 IN PLACE OF CPT4
 PROVIDE CPT8 IN PLACE OF CPT5

STUDIO 2LR

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 2428 MAIN STREET
 COLUMBIA, SC 29201
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 STUDIO2LR.COM

South Carolina

Uof SC



CLIENT NAME
UNIVERSITY OF SOUTH CAROLINA

PROJECT NAME
**UofSC ADVISING CENTER
CLOSE-HIPP BLDG, 3RD FLR**

LOCATION
1705 COLLEGE ST. COLUMBIA, SC

REVISIONS

NO.	DATE	DESCRIPTION
1	02/28/20	Revision 1

PROJECT NUMBER **19045**

SHEET NUMBER
A701

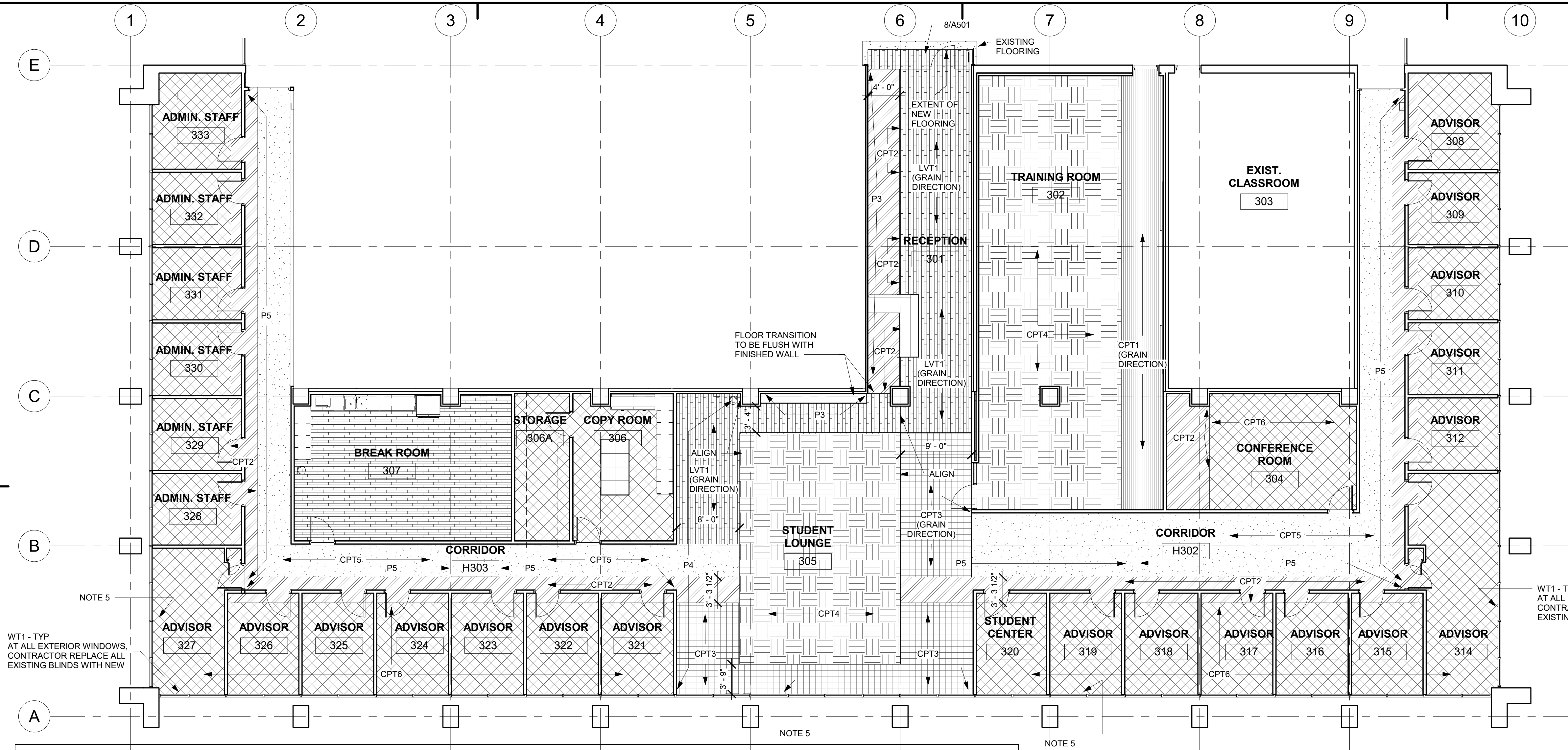
SHEET NAME
FINISH SPECIFICATIONS

DATE **01/31/2020**

ISSUED FOR BIDDING - 01/31/2020

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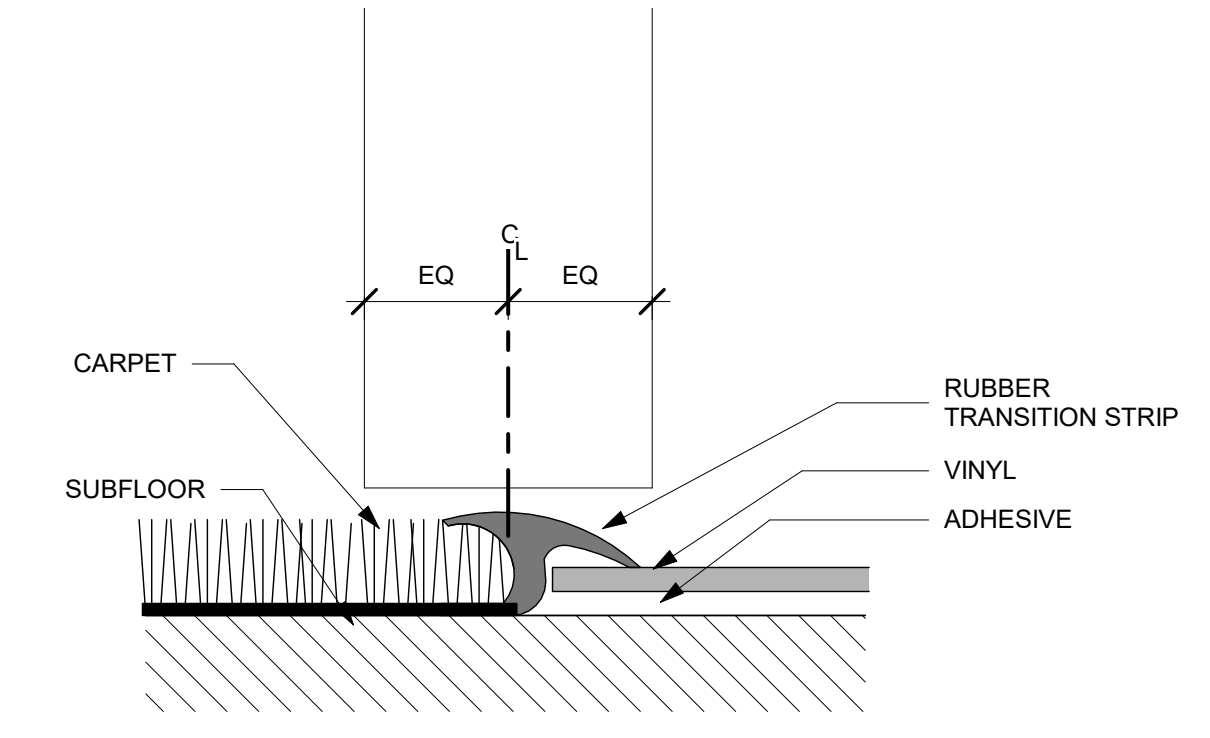
FLOOR FINISH LEGEND

[Pattern]	CPT1
[Pattern]	CPT2
[Pattern]	CPT3
[Pattern]	CPT4
[Pattern]	CPT5
[Pattern]	CPT6
[Pattern]	LVT1

ROOM FINISH SCHEDULE

NO.	NAME	FLOOR	BASE	CEILING		WALL FINISH				COMMENTS
		MATERIAL	MATERIAL	MATERIAL	HEIGHT	NORTH	SOUTH	EAST	WEST	
301	RECEPTION	CPT2 / LVT1	B1	GYP (P6)	SEE RCP	P1	--	P1 / WD1 / FWP1	P3	REFER TO INTERIOR ELEVATIONS FOR EXTENT OF MATERIALS.
302	TRAINING ROOM	CPT1 / CPT4	B1	(ACT BY OWNER)	V.I.F.	P2	P2	P2	P2	REFER TO INTERIOR ELEVATIONS FOR EXTENT OF AV EQUIPMENT AND WALL MOUNTED MARKERBOARDS. REFER TO SHEET A701 FOR ALT.3.
303	EXIST. CLASSROOM	*EXISTING	B1	(ACT BY OWNER)	V.I.F.	P2	P2	P2	P2	*EXISTING CARPET TO BE RELOCATED TO ROOM 303.
304	CONFERENCE ROOM	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	REFER TO INTERIOR ELEVATIONS FOR WALL MOUNTED MARKERBOARDS.
305	STUDENT LOUNGE	LVT1 / CPT 3 / CPT4	B1	GYP (P6) / (ACT BY OWNER)	SEE RCP	P1 / P3	NOTE 5	P1 / P5	P1 / P4	SEE NOTE 5. REFER TO SHEET A701 FOR ALT.3
306	COPY ROOM	CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	
306A	STORAGE	CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	
307	BREAK ROOM	LVT1	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	
308	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
309	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
310	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
311	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
312	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
313	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
314	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
315	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
316	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
317	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
318	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
319	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
320	STUDENT CENTER	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
321	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
322	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
323	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
324	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
325	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
326	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
327	ADVISOR	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
328	ADMIN. STAFF	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
329	ADMIN. STAFF	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
330	ADMIN. STAFF	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
331	ADMIN. STAFF	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
332	ADMIN. STAFF	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
333	ADMIN. STAFF	CPT2 / CPT6	B1	(ACT BY OWNER)	V.I.F.	P1	P1	P1	P1	SEE NOTE 5.
H302	CORRIDOR	CPT2 / CPT5	B1	(ACT BY OWNER)	V.I.F.	P1	P5	P5	P1	REFER TO SHEET A701 FOR ALT.3
H303	CORRIDOR	CPT2 / CPT5	B1	(ACT BY OWNER)	V.I.F.	P1	P5	P1	P5	REFER TO SHEET A701 FOR ALT.3

1 THIRD FLOOR - FINISH PLAN
1/8" = 1'-0"



3 CARPET TO VINYL
1/2" = 1'-0"

GENERAL FINISH NOTES

- WALL FINISH DIRECTION IS BASED ON PLAN ORIENTATION (I.E. NORTH WALL REFERS TO PLAN NORTH).
- PROVIDE CODE COMPLIANT TRANSITION STRIPS WHERE NEEDED.
- PREP ALL SUB SURFACES TO RECEIVE NEW FINISH PER MANUFACTURER'S WRITTEN INSTRUCTIONS. ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS WRITTEN INSTRUCTIONS. ALL MATERIALS TO BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR FABRICATION AND INSTALLATION.
- WHERE FLOOR TRENCHING OCCURS, LEVEL AND PREP NEW CONCRETE SUBSTRATE TO RECEIVE NEW FINISHES PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL EXISTING EXTERIOR WALL, INTERIOR METAL PANELS AND MULLIONS, TO BE CLEANED. SECURE ANY LOOSE PANELS AND PROVIDE FASTENERS WHERE MISSING. CAULK (BLACK) WHERE DAYLIGHT HOLES OCCUR. AT STUDENT LOUNGE ROOM 305, PAINT METAL PANELS TO MATCH EXISTING PANEL COLOR.
- WHERE LVT AND CARPET ABUTT IN OPEN SPACES (NOT UNDER A DOOR), PROVIDE A SMOOTH LEVEL TRANSITION, TIGHT JOINT OF MATERIALS. CARPET EDGES TO ABUTT LVT TO BE FACTORY FINISHED EDGES. NO CUT CARPET EDGES AT LVT TRANSITION.
- SEE DOOR SCHEDULE AND SPECIFICATIONS FOR DOOR AND DOOR FRAME FINISHES.
- SEE REFLECTED CEILING PLAN FOR EXTENT OF NEW CEILING AND CEILING UNDER SEPARATE SCOPE OF WORK.
- REFER TO MILLWORK DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH FINISHES.

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WILLIAM WESLEY LYLES, IV
COLUMBIA 1856
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
STUDIO 2LR INC.
Columbia, SC
No. 100136
REGISTERED ARCHITECTS

CLIENT NAME
UNIVERSITY OF SOUTH CAROLINA
PROJECT NAME
UofSC ADVISING CENTER
CLOSE-HIPP BLDG, 3RD FLR
LOCATION
1705 COLLEGE ST. COLUMBIA, SC

REVISIONS

NO.	DATE	DESCRIPTION
1	02/28/20	Revision 1

PROJECT NUMBER **19045**
SHEET NUMBER
A702
SHEET NAME
FINISH SCHEDULE / FINISH PLAN
DATE **01/31/2020**

ISSUED FOR BIDDING - 01/31/2020

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SEISMIC REQUIREMENTS FOR ELECTRICAL SYSTEMS

PER IBC-2015/ASCE 7-10

- EQUIPMENT, APPLIANCES AND SUPPORTS (INCLUDING ROOF CURBS & ROOF RAILS) EXPOSED TO WIND SHALL BE DESIGNED AND INSTALLED TO RESIST THE WIND PRESSURES DETERMINED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE. WHERE SEISMIC RESTRAINT IS REQUIRED, THE MORE DEMANDING FORCE OF WIND AND SEISMIC MUST BE USED. SEE SEISMIC INFORMATION CONTAINED IN THE STRUCTURAL DRAWINGS FOR SITE SPECIFIC INFORMATION ON SEISMIC DESIGN CATEGORY. SEE EQUIPMENT SCHEDULES AND DETAILS FOR SPECIFIC COMPONENT IMPORTANCE FACTOR DESIGNATIONS.
- USE APPLICABLE TABLE BELOW TO DETERMINE SEISMIC RESTRAINT REQUIREMENTS FOR EACH MECHANICAL COMPONENT.
- FOR ALL COMPONENTS REQUIRING SEISMIC RESTRAINT, THE COMPONENT SUPPORTS AND ATTACHMENTS SHALL BE DESIGNED BY A REGISTERED DESIGN PROFESSIONAL. SUBMITTALS MUST INCLUDE STAMPED AND SIGNED DRAWINGS AND CALCULATIONS.
- WHERE SEISMIC RESTRAINT IS REQUIRED, HOUSEKEEPING PADS NEEDED FOR THE INSTALLATION OF EQUIPMENT UNDER THIS CONTRACT MUST BE DESIGNED BY THE SEISMIC ENGINEER. DO NOT POUR ANY HOUSEKEEPING PADS PRIOR TO THE RECEIPT OF THE SEISMIC SUBMITTAL.
- SEISMIC RESTRAINTS FOR CONDUIT, CABLE TRAY, AND BUS DUCT MUST BE SHOWN ON LAYOUT DRAWINGS SHOWING SPECIFIC RESTRAINT LOCATIONS ALONG WITH ACCOMPANYING DETAILS AND CALCULATIONS.
- REFER TO ASCE 7-10 FOR SEISMIC INSTALLATION GUIDELINES.

ELECTRICAL COMPONENT IMPORTANCE FACTOR (Ip) DESIGNATION

Ip = 1.0

Ip = 1.5

- ALL ASSOCIATED ELECTRICAL WORK UNLESS NOTED OTHERWISE:
 - EMERGENCY LIGHTS & EXIT SIGNS
 - GENERATOR
 - TRANSFER SWITCHES
 - PANELBOARDS & TRANSFORMERS TIED TO EMERGENCY SYSTEM
 - PANELBOARDS & TRANSFORMERS TIED TO STAND-BY SYSTEM
 - RACEWAY SYSTEMS ASSOCIATED WITH EMERGENCY SYSTEM
 - RACEWAY SYSTEMS ASSOCIATED WITH STAND-BY SYSTEM
 - CABLE-TRAY SYSTEMS

SEISMIC DESIGN CATEGORIES C

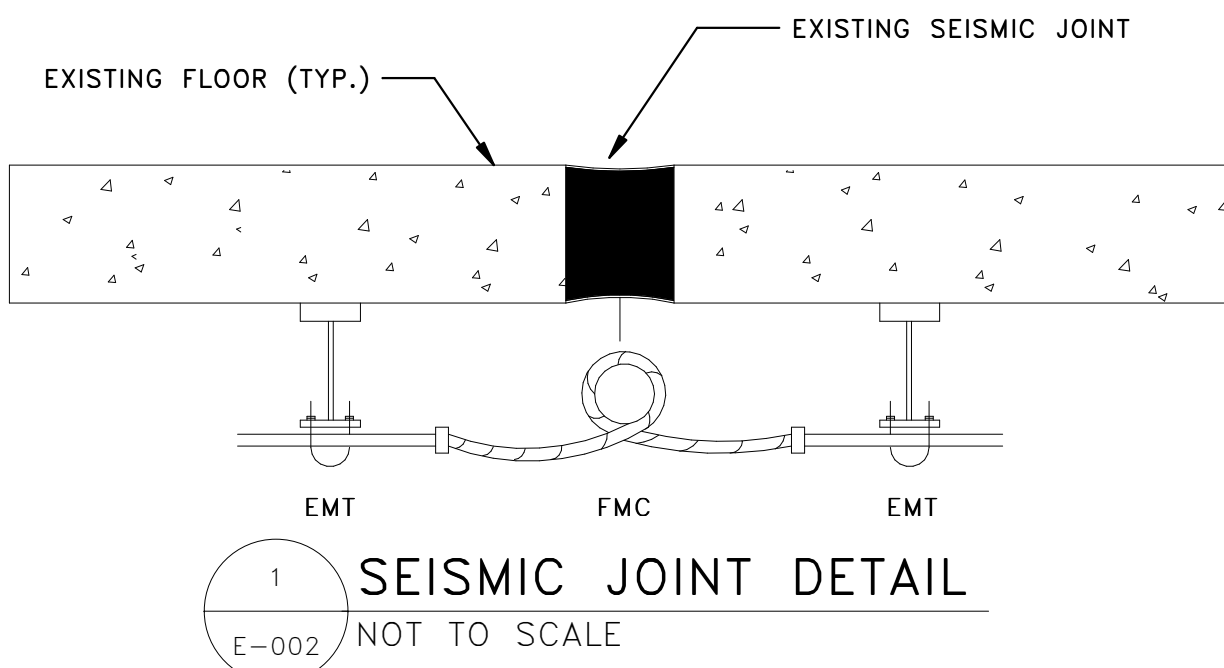
COMPONENT IMPORTANCE FACTOR (Ip)

1.0

1.5

COMPONENT IDENTIFICATION	SEISMIC RESTRAINT REQUIREMENT	NOTES	SEISMIC RESTRAINT REQUIREMENT	NOTES
ROOF MOUNTED	NOT REQUIRED	-	RESTRAIN ALL	-
FLOOR MOUNTED	NOT REQUIRED	-	RESTRAIN ALL	-
WALL MOUNTED	NOT REQUIRED	-	RESTRAIN ALL	-
COMPONENT SUPPORTS	NOT REQUIRED	-	RESTRAIN ALL	-
SUSPENDED EQUIPMENT	NOT REQUIRED	-	RESTRAIN ALL	-
SINGLE CONDUIT	NOT REQUIRED	-	>1"	3,4
CABLE TRAY/BUS DUCT TRAPEZED CONDUIT	NOT REQUIRED	-	RESTRAIN IF ANY CONDUIT ON TRAPEZE > 1" RESTRAIN IF TOTAL WEIGHT OF SUPPORTED COMPONENT > 10 LBS/FT	4
COMPONENT CERTIFICATION (SEE NOTE 5)	NOT REQUIRED	-	REQUIRED	-
PENDANT, LAY-IN, & CAN LIGHTS	NOT REQUIRED	-	REQUIRED	-

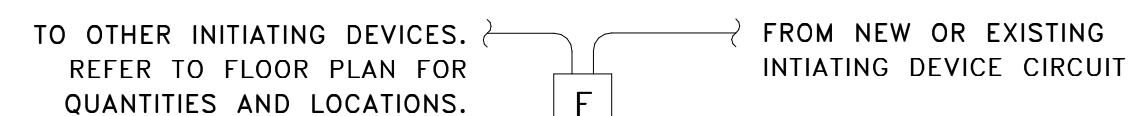
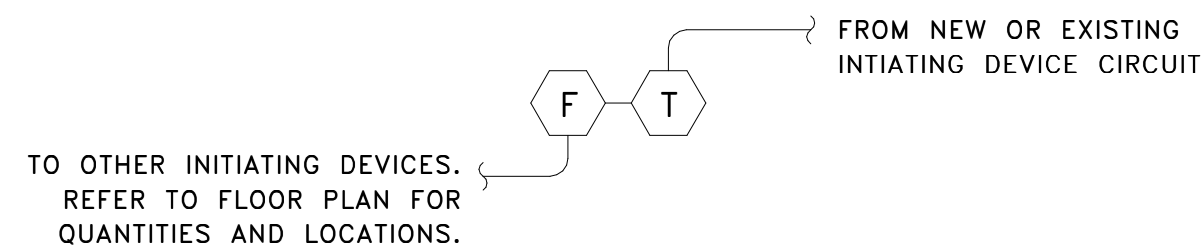
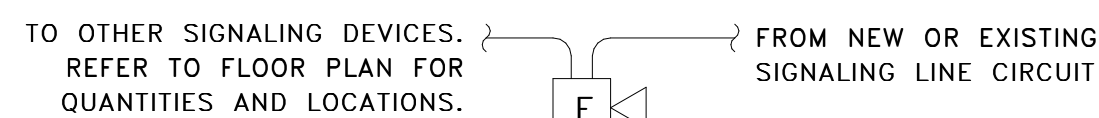
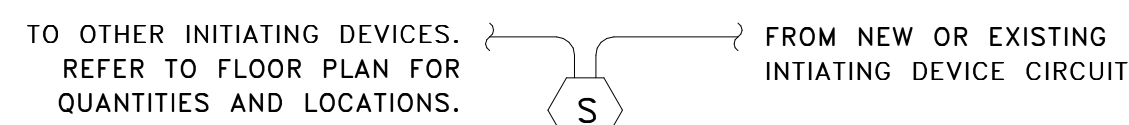
- NOTES:
- EQUIPMENT 20 LBS. OR LESS IS EXEMPT IF FLEXIBLE CONNECTIONS ARE PROVIDED BETWEEN THE COMPONENT AND ASSOCIATED DUCTWORK, PIPING, AND CONDUIT.
 - RESTRAINTS ARE NOT REQUIRED IF THE COMPONENT WEIGHS 400 LBS. OR LESS, IS MOUNTED AT 4 FT. OR LESS ABOVE A FLOOR, AND HAS FLEXIBLE CONNECTIONS BETWEEN THE COMPONENT AND ASSOCIATED DUCTWORK, PIPING, AND CONDUIT.
 - ALL NON-DUCTILE PIPING (IE - PLASTIC) MUST BE RESTRAINED.
 - RESTRAINT IS NOT REQUIRED IF SUSPENDED 12" OR LESS FROM THE STRUCTURE AND THE HANGERS ARE DETAILED TO AVOID SIGNIFICANT BENDING OF THE HANGERS AND THEIR ATTACHMENTS AND PROVISIONS ARE MADE FOR PIPING TO ACCOMMODATE EXPECTED DEFLECTIONS.
 - COMPONENT CERTIFICATION MUST BE SUPPLIED BY THE EQUIPMENT MANUFACTURER AT TIME OF SUBMITTAL FOR REVIEW BY ENGINEER OF RECORD.
 - THE RESTRAINT OF PENDANT, LAY-IN, & CAN LIGHTS IS GOVERNED BY "CISCA-04 FOR SEISMIC ZONES" (CEILINGS AND INTERIOR SYSTEMS CONSTRUCTION ASSOCIATION).



SYMBOL	FIXTURE SPECIFICATIONS				LAMPING		ELECTRICAL		MOUNTING	REMARKS	NOTES
	TYPE	FIXTURE DESCRIPTION	MANUFACTURER	CAT. #	NO.	LAMP TYPE	FIXT. LOAD	VOLTS			
○	A4	2'X4' LED RECESSED TROFFER	HE WILLIAMS	LT-24-L40/835-AF-DIM-UNV	-	LED (3972 LUMENS, 835)	32	277 V		RECESSED IN GRID CEILING	2,3,4,5
◼	A4E	SAME AS TYPE "A4" EXCEPT FED FROM GENERATOR BACKED CIRCUIT THROUGH GTD	HE WILLIAMS	LT-24-L40/835-AF-DIM-UNV	-	LED (3972 LUMENS, 835)	32	277 V		RECESSED IN GRID CEILING	2,3,4,5
○	BN	DECORATIVE LED PENDANT	LZF	BKNT_KS_S_BK_LED_DIM_UL	-	LED	80	277 V		PENDANT MTD AT 7'-6" AFF.	3,4,5
○	D	4" ROUND LED DOWNLIGHT	HE WILLIAMS	4DR-TL-L15-835-DIM-UNV-OW-OF-WH	-	LED (1466 LUMENS, 835)	14	277 V		RECESSED IN GRID CEILING	1,2,3,4,5
○	DE	4" ROUND LED DOWNLIGHT EMERGENCY	HE WILLIAMS	4DR-TL-L15-835-DIM-UNV-OW-OF-WH	-	LED (1466 LUMENS, 835)	14	277 V		RECESSED IN GRID CEILING	1,2,3,4,5
○	DW	4" ADJUSTABLE LED DOWNLIGHT	HE WILLIAMS	4AR-TL-L10-835-DIM-UNV-OM-OF-CH	-	LED (946 LUMENS, 835)	12	277 V		RECESSED IN GRID CEILING	2,3,4,5
○	J2	2' LINEAR LED RECESSED-WALL WASH	ALW	LP3.5RWW-SLOT-S2-W/80/3500-0/10V/1%-HT-WH-UNV	-	LED (1796 LUMENS, 835)	25	277 V		RECESSED IN CEILING	3,4,5
○	J4	4' LINEAR LED RECESSED	FINELITE	HP-2R-4'-B-835-F-277V-FE-SC	-	LED (1692 LUMENS, 835)	18	277 V		RECESSED IN CEILING	2,3,4,5
○	J4E	SAME AS TYPE "J4" EXCEPT FED FROM GENERATOR BACKED CIRCUIT THROUGH GTD	FINELITE	HP-2R-4'-B-835-F-277V	-	LED (1692 LUMENS, 835)	18	277 V		RECESSED IN CEILING	2,3,4,5
○	J10P	10' LINEAR LED DIRECT/INDIRECT PENDANT	FINELITE	HP-4IDRC-10'-S-S-835-TG-RC-LHE-96LG-277V-FA-FE-SC	-	LED (3228 LUMENS, 835)	73	277 V		PENDANT MTD AT 7'-6" AFF.	1,2,3,4,5
○	J12	12' LINEAR LED RECESSED	FINELITE	HP-2R-12'-S-835-F-277V-FE-SC	-	LED (4392 LUMENS, 835)	43	277 V		RECESSED IN CEILING	2,3,4,5
○	J16	16' LINEAR LED RECESSED	FINELITE	HP-4R-16'-S-835-F-277V	-	LED (6096 LUMENS, 835)	58	277 V		RECESSED IN GRID CEILING	2,3,4,5
○	J16E	SAME AS TYPE "J16" EXCEPT FED FROM GENERATOR BACKED CIRCUIT FED THROUGH GTD	FINELITE	HP-4R-16'-S-835-F-277V	-	LED (6096 LUMENS, 835)	58	277 V		RECESSED IN GRID CEILING	2,3,4,5
○	P1	LED PENDANT	TECH LIGHTING	700TDMINAP1UB-LEDWD	-	LED (135 LUMENS, 930)	9	277 V		PENDANT MTD AT 7'-6" AFF.	3,4,5
○	P2	LED PENDANT WITH LOCUS RING	TECH LIGHTING	700TDMINAP1UB-LEDWD 700LOCUSR 13B	-	LED (135 LUMENS, 930)	9	277 V		PENDANT MTD AT 7'-6" AFF.	1,3,4,5
⊗	X1	EXIT SIGN	EMERGI-LITE	WLX1NGMUA-C	-	LED	1	277 V		CEILING MOUNTED	3,4,5
⊗	X3	EXIT SIGN	EMERGI-LITE	WLX1NGMUA-C	-	LED	1	277 V		WALL MOUNTED	4,5

- #### LIGHT FIXTURE SCHEDULE NOTES
- LUMENS LISTED IN SCHEDULE REPRESENT DELIVERED LUMENS OF FIXTURES.
 - THREE DIGIT NUMBERS LISTED IN LAMP COLUMN REPRESENT CRI AND COLOR TEMPERATURE. FIRST DIGIT INDICATES MINIMUM CRI AND LAST TWO DIGITS INDICATE COLOR TEMPERATURE. EXAMPLE: 830 INDICATES MINIMUM CRI OF 80 AND A COLOR TEMPERATURE OF 3000K.
 - SEE ARCHITECTURAL RCP AND ELEVATIONS FOR EXACT LOCATION AND MOUNTING HEIGHTS.
 - CONFIRM QUANTITIES OF FIXTURES SHOWN IN RCP MATCH QUANTITIES SHOWN ON ELECTRICAL PLANS PRIOR TO BID. IF NO DISCREPANCIES ARE NOTED PRIOR TO BID THE HIGHEST QUANTITY OF EACH FIXTURE TYPE SHOWN SHALL BE PROVIDED.
 - COORDINATE CEILING TYPE WITH GENERAL CONTRACTOR PRIOR TO ORDER.

TYPE	MANUFACTURER	CAT #
A4	MERCURY LIGHTING	LR302/24G SERIES
A4E	MERCURY LIGHTING	LR302/24G SERIES
BN		
D	ATLANTIC LIGHTING	VR SERIES
DE	ATLANTIC LIGHTING	VR SERIES
DW	ATLANTIC LIGHTING	VR SERIES
J2	FINELITE	HPW-LED SERIES
J4	ALW	LP2RT SERIES
J4E	ALW	LP2RT SERIES
J10P	ALW	SP4S SERIES
J12	ALW	LP2RT SERIES
J16	ALW	LP3.5RT SERIES
J16E	ALW	LP3.5RT SERIES
P1		
P2		
X1	EXITRONIX	S900 SERIES
X3	EXITRONIX	S900 SERIES



EXISTING FIRE ALARM SYSTEM NOTES

- SEE FLOOR PLANS FOR INTENDED COVERAGE OF FIRE ALARM SYSTEM.
- EXISTING BUILDING FIRE ALARM SYSTEM IS BASED ON GAMEWELL / E3. PROVIDE ADDITIONAL POWER SUPPLIES AND OTHER SYSTEM ACCESSORIES REQUIRED TO SUPPORT ADDITIONAL DEVICES.
- INITIATING DEVICES SHALL BE SMOKE DETECTORS, DUCT-MOUNTED SMOKE DETECTORS, HEAT DETECTORS, MANUAL PULL STATIONS / ABORT STATIONS, AND WATER FLOW SWITCHES.
- UPON ACTIVATION OF ANY VALVE SUPERVISORY (TAMPER) SWITCH, A DISTINCT SIGNAL ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION SHALL BE SENT TO THE FACP. VISUAL PORTION OF SIGNAL SHALL BE CONTINUOUS. TONE DURATION SHALL BE 3 SECONDS.
- SYSTEM TROUBLE (OPEN WIRING, SHORTED WIRING, OR GROUND FAULTS) SHALL BE ANNUNCIATED BOTH AUDIBLY AND VISUALLY AT THE FACP AND AT ALL ANNUNCIATORS.
- NOTIFICATION APPLIANCE CIRCUITS THAT PASS THROUGH A ZONE OTHER THAN THE ZONE IN WHICH THEY ARE NOTIFYING SHALL BE INSTALLED IN A 2-HOUR RATED CABLE/CONDUIT ASSEMBLY.
- FIRE ALARM CONTRACTOR SHALL COORDINATE WITH THE OWNER, AND LOCAL FIRE MARSHALL REGARDING THE REQUIRED NOTIFICATION ZONING REQUIREMENTS AND PROVIDE 2-HOUR RATED CABLE/CONDUIT ASSEMBLY FOR EACH REQUIRED ZONE.
- ALL SYSTEM WIRING SHALL BE CLASS A, NO T-TAPPING IS PERMITTED. CIRCUIT LOOP "SUPPLY AND RETURN" PATHS SHALL BE IN SEPARATE CONDUITS.

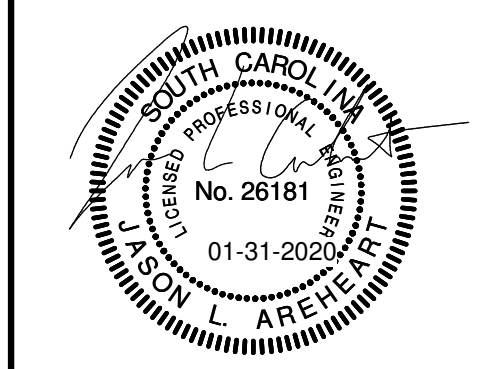
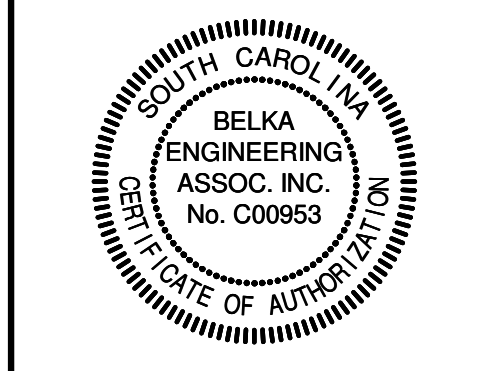
EQUIPMENT CONNECTION SCHEDULE						
ELECTRICAL						
UNIT I.D.	VOLTS	# OF POLES	AMPS	NEMA	LOAD (VA)	NOTES
TWH	277 V	1	50 A	1	10000	3
VAV-3.11	277 V	1	0 A		1108	
VAV-3.12	277 V	1	0 A		1108	

- #### EQUIPMENT CONNECTION SCHEDULE NOTES
- ALL SWITCHES SHALL BE GENERAL DUTY TYPE, FUSIBLE UNLESS NOTED WITH "NF" (NON-FUSIBLE).
 - "M" DENOTES DISCONNECT SWITCH INTEGRAL WITH MECHANICAL EQUIPMENT.
 - PROVIDE MOTOR-RATED TOGGLE SWITCH MOUNTED ON OR ADJACENT TO EQUIPMENT.



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UNIVERSITY OF SOUTH CAROLINA

PROJECT NAME
**UofSC ADVISING CENTER
CLOSE-HIPP BLDG, 3RD FLR**

LOCATION
1705 COLLEGE ST. COLUMBIA, SC

REVISIONS		
NO.	DATE	DESCRIPTION
1	2/28/20	REVISION 1

PROJECT NUMBER **19045**

SHEET NUMBER
E-002

SHEET NAME
**SCHEDULES AND
DETAILS**

DATE **1/31/2020**

BELKA
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